

Agenda
City of Olive Branch
Planning Commission Meeting
6:00 PM
July 8, 2025

This meeting will be live-streamed and recorded on the City's YouTube channel at <https://www.youtube.com/@cityofob>.

Call to Order:

Roll Call:

Approval of Minutes:

1. Minutes of June 10, 2025

Consent

1. Application for the 1st Revision of "Final Plat of Lot 1 and Lot 2 of Dancing Oaks Planned Commercial Development" Subdivision, submitted by Byron Houston, Houston Engineering, on behalf of John H. White et al., property owner. The request is to add a stormwater easement to the existing previously recorded plat. The subject property is zoned C-4, Planned Commercial District, and is located on the east side of Hacks Cross Rd, just north of Progress Way (File #SD25-0020).

Old Business:

1. Application to amend the Project Text for the Oaks at Parkview Heights, Area 3B, submitted by David Baker, Fisher Arnold, Inc, on behalf of Trey Hart, Mainland MCA Olive Branch, LLC, property owner. The request is to permit the development of the area for single-family residential condominium dwellings and to approve the associated preliminary development plan. The 6.96+/-acre subject property is zoned PUD, Planned Unit Development, and is located at the northwest corner of Parkview Oaks Circle and Parkview Blvd. There is an accompanying application to combine lots 1A & 1B into a single lot. (File # ZP25-0003). (Tabled to this date at meeting of June 10, 2025). (Withdrawn by applicant).
2. Application for the 1st Revision to Oaks at Parkview Heights Ph 2, Area 3 Subdivision, submitted by David Baker, Fisher Arnold, Inc, on behalf of Trey Hart, Mainland MCA Olive Branch, LLC, property owner. The request is to combine lots 1A and 1B into a single Lot 1 of 6.96+/-acres. The subject property is zoned PUD, Planned Unit Development, and is located at the northwest corner of Parkview Oaks Circle and Parkview Blvd. (File # SD25-0008). (Tabled to this date at meeting of June 10, 2025). (Withdrawn by applicant).
3. Application for a Final Plat for Area 9 of Robinson Crossing Commercial Subdivision, submitted by Byron Houston, Houston Engineering, on behalf of property owners, Pleasant Hill Land & Development Co, Inc. The request is to subdivide 5.72+/-acres into 2 commercial lots. The subject property is zoned PUD, Planned Unit Development, and is located at the southeast corner of Malone Rd N and Church Rd E. (File # SD25-0013). (Tabled to this date at meeting of June 10, 2025).
4. Application for a Preliminary Plat for Highland Lake Subdivision, submitted by Nick Kreunen, Civil Link, on behalf of property owner, Bryant Cashion, FSB & Co, LLC. The request is to subdivide 6.94+/-acres into 20 residential lots & 2 Common Open Spaces. The subject property is zoned R-3, Planned Residential District, and is on the west side of Hwy 305, just north of College Rd, known as 4225 Hwy 305. (File # SD25-0007). (Tabled to this date at meeting of June 10, 2025).

New Business:

1. Application for a Zoning Map Amendment, submitted by Ben Smith, Smith Walker Engineering & Surveying, on behalf of property owner, Acree Family Trust. The request is to rezone 2 parcels, totalling 28.59+/- acres from A-R, Agricultural-Residential District, to R-1, Single Family Residential District, for the purpose of a detached single-family residential subdivision. The subject property is located at the northeast corner of Hamilton Circle N, and Hamilton Circle W, east of Hummingbird Drive. (File # ZP25-0004)
2. Application for a Preliminary Plat for Acree Farms Subdivision, submitted by Ben Smith, Smith Walker Engineering & Surveying, on behalf of property owner, Acree Family Trust. The request is to subdivide 28.59+/-acres into 71 single family lots and 2 common open spaces. There is a companion application requesting a rezoning from A-R, Agricultural-Residential District, to R-1, Single Family Residential District, for the purpose of a residential subdivision. The subject property is located at the northeast corner of Hamilton Circle N, and Hamilton Circle W, east of Hummingbird Drive. (File # SD25-0011).
3. Application for a Zoning Map Amendment, submitted by Andy Richardson, R&H Engineering & Surveying, LLC, on behalf of Sunset Creek Farms, LLC, Kevin Bynum, property owner. The request is to rezone from A-R, Agricultural-Residential District, to R-1, Single-Family Residential District. The subject 0.92+/-acre property is at the northeast corner of Hamilton Cir N and Hamilton Cir W, known as 6602 Hamilton Cir N. The property is intended to be used for detached single family housing (File # ZP25-0006).
4. Application for a Final Plat for Ansley Point Subdivision, submitted by Andy Richardson, R&H Engineering & Surveying, LLC, on behalf of Sunset Creek Farms, LLC, Kevin Bynum, property owner. The request is to create a single residential lot of 0.92+/-acres. There is an accompanying application asking to rezone from A-R, Agricultural-Residential District, to R-1, Single-Family Residential District. The subject 0.92+/-acre property is at the northeast corner of Hamilton Cir N and Hamilton Cir W, known as 6602 Hamilton Cir N. (File # SD25-0019).
5. Application for a Final Plat for Eagle Commercial Subdivision, Lots 4 & 5, submitted by Bob Farley, Farley Surveying, LLC on behalf of Eagle Land LLC, property owner. The request is to subdivide 6.41+/-acres into 2 lots. The subject property is zoned C-2, Highway Commercial District, and is located on the west side of Hacks Cross Rd, just south of the Burlington Northern Railroad track and north of Hwy 178. (File # SD25-0018).
6. Application for a Zoning Map Amendment, submitted by Jarmon Peregoy, P.E., Kimley-Horn & Associates, on behalf of Land Grant LLC, Mark Bolding, property owner. The request is to rezone two parcels from A-R, Agricultural-Residential District to M-1, Light Industrial District. The first parcel is 1.11+/-acres, located on the south side of Kirk Rd, approximately 760 feet east of Polk Ln, known as 12215 Kirk Rd. The second parcel is 2.55+/-acres, at the north end of Eastern Drive, approximately 325 feet north of Desoto Rd, known as 8048 Eastern Dr. (File # ZP25-0005).
7. Application for a Preliminary Plat for Olive Branch Logistics Park, submitted by Jarmon Peregoy, P.E., Kimley-Horn & Associates, on behalf of Land Grant LLC, Mark Bolding, property owner. The request is to subdivide 220.21+/-acres into 3 industrial lots, rights-of-way and one common open space in several development phases. The subject property is zoned M-1, Light Industrial District, including two parcels proposed for rezoning from A-R under the previous agenda item, and is located on the south side of Kirk Rd, approximately 760 feet east of Polk Lane. (File # SD25-0015).

Other Business

Adjournment

**MINUTES FOR THE CITY OF OLIVE BRANCH PLANNING COMMISSION
REGULAR MEETING JUNE 10, 2025**

The Olive Branch Planning Commission meeting was held on Tuesday, June 10, 2025, in the Municipal Court Room located at 6900 Highland Street, at 6:00 p.m.

CALL TO ORDER

The meeting was called to order by Mr. Jones, Vice-Chairman of Planning Commission, at 6:00 p.m.

ROLL CALL

Janice Lewis, Dion Jones, Donny Singh, Diane Senger, and Kimberly Remak were present, and a quorum was established. Pat Dorr and Steve Stratton were absent. Jason Gambone, Director, Venard Asongayi, Assistant Director, Kevin Norman, Senior Planner, Jeremiah McCroskey, Associate Planner, and Heather James, Planning Technician were present from the Planning and Development Department.

APPROVAL OF THE MINUTES OF THE MAY 13, 2025 MEETING

Steve Stratton arrived at 6:01pm, during the discussion for minutes approval.

Mr. Jones asked if anyone had any questions, comments or motions regarding the minutes of the May 13, 2025 meeting. **Mrs. Lewis made a motion to approve the minutes as presented. Ms. Senger made the second and the motion was approved as follows:**

Pat Dorr	Absent	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Kimberly Remak	Yes	Diane Senger	Yes		

CONSENT AGENDA

OLD BUSINESS

Mr. Jones announced Old Business Items # 1 & 2 together and noted there was a motion to table both items.

1. Application to amend the Project Text for the Oaks at Parkview Heights, Area 3B, submitted by David Baker, Fisher Arnold, Inc, on behalf of Trey Hart, Mainland MCA Olive Branch, LLC, property owner. The request is to permit the development of the area for single-family residential condominium dwellings and to approve the associated preliminary development plan. The 6.96+/-acre subject property is zoned PUD, Planned Unit Development, and is located at the northwest corner of Parkview Oaks Circle and Parkview Blvd. There is an accompanying application to combine lots 1A & 1B into a single lot. (File # ZP25-0003). **(Applicant requests to table until July 8, 2025).**
2. Application for the 1st Revision to Oaks at Parkview Heights Ph 2, Area 3 Subdivision, submitted by David Baker, Fisher Arnold, Inc, on behalf of Trey Hart, Mainland MCA Olive Branch, LLC, property owner. The request is to combine lots 1A and 1B into a single Lot 1 of 6.96+/-acres. The subject property is zoned PUD, Planned Unit Development, and is located at the northwest corner of Parkview Oaks Circle and Parkview Blvd. (File # SD25-0008). **(Applicant requests to table until July 8, 2025).**

Mrs. Remak made a motion to table Old Business Numbers 1 & 2. Mr. Singh made the second and the motion to table both items was approved as follows:

Pat Dorr	Absent	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Kimberly Remak	Yes	Diane Senger	Yes		

- Application for a Preliminary Plat for Highland Lake Subdivision, submitted by Nick Kreunen, Civil Link, on behalf of property owner, Bryant Cashion, FSB & Co, LLC. The request is to create 20 residential lots & 2 Common Open Spaces from 6.94+/-acres. The subject property is zoned R-3, Planned Residential District, and is on the west side of Hwy 305, just north of College Rd, known as 4225 Hwy 305. (File # SD25-0007). *(Tabled to this date at meeting of May 8, 2025).* **(Applicant requests to table until July 8, 2025).**

Mr. Jones announced Old Business Number 3 and noted there was a motion to table the item.

Mrs. Remak made a motion to table Old Business Number 3. Ms. Senger made the second and the motion to table was approved as follows:

Pat Dorr	Absent	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Kimberly Remak	Yes	Diane Senger	Yes		

- Application for a Final Plat for Center Hill Farms Subdivision, Phase 1, submitted by Nick Kreunen, Civil Link, LLC, on behalf of Johnny McBride, member, Center Hill Development, LLC, property owner. The request is to create 88 Lots and 4 Common Open Spaces from 48.28+/-acres. The subject property is zoned PUD, Planned Unit Development District, located on the west side of Center Hill Rd, approximately 700 feet north of Valley Oaks Dr E. and about 1800 feet south of the Hwy 302 and Center Hill Rd intersection. (File # SD25-0009). *(Tabled to this date at meeting of May 8, 2025).*

- APPLICATION SUMMARY**

Nick Kreunen, Civil Link, LLC, on behalf of Johnny McBride, member, Center Hill Development, LLC, property owner, requests approval of the final plat for Center Hill Farms, Phase 1, which will consist of 88 single family residential lots and 14 common open spaces. The final plat aligns with the preliminary plat of the subdivision. While utilities such as sewer and water lines have been installed substantially, streets are still under construction. Staff recommends approval subject to various conditions.

- STAFF PRESENTATION**

Venard Asongayi, CFM, AICP, DPA, Assistant Director, presented the staff report, which is included herein by reference (File # SD25-0009). He advised there was a condition that needs to be met before moving to the Board of Aldermen for consideration regarding the paving of the streets.

- PLANNING COMMISSION INQUIRY AND STAFF RESPONSE**

Mr. Jones asked Mr. Asongayi to clarify if a condition needed to be added and he confirmed that it did need to be added.

- PUBLIC MEETING**

Mr. Jones asked if anyone was present to speak about the application.

- Proponents:**

- Nick Kreunen, Civil Link, 5779 Getwell Rd, Southaven, MS – He advised he has CCR’s ready and will submit to staff for review. Mr.

Singh asked if they were okay with having the asphalt completed. Mr. Kreunen advised it was their intention to complete, but that they were delayed by rain.

- **Opponents:**
 - None

- **PLANNING COMMISISON DISCUSSION**
None

- **MOTION**

Mr. Singh made a motion to approve the final plat for Phase 1 of Center Hill Farms Planned Residential Development and recommend same to the Board of Aldermen subject to the following:

1. Improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. All utilities and services (electric, telephone, cable, etc) shall be installed underground. The water service lines shall be installed with tracing wire at the top.
3. Change the numbering of all common open spaces on the plat, beginning with COS A605, COS B606, COS C607, etc., etc.
4. Add the designed finished floor elevation for lots 22, 23, and 24 that adjoin the identified FEMA Flood Hazard Area.
5. Terminate the eastern boundary of the subdivision at the western right-of-way line of Center Hill Rd, which should be 53ft from the center line of this street.
6. All approval conditions of the preliminary plat are maintained.
7. The developer shall submit to the City of Olive Branch a letter of credit of sufficient amount as will be determined by the City Engineer, plus a 25% contingency, for the completion of all uncompleted public improvements required in the land area constitutive of the final plat and for any outstanding As-Built drawings before recordation of the final plat.
8. The developer shall provide the Covenants, Conditions, and Restrictions (CCRs) of the Subdivision to Planning Staff for review to ensure compliance with the project text and preliminary development plan for Center Hill Farms and other applicable public regulations before the plat may be recorded.
9. A building permit shall not be issued for construction on the proposed lots until the first lift of asphalt has been laid on all streets or street sections included in this final plat of Phase 1 of Center Hill Farms Subdivision.
10. Minor edits may be applicable to the subdivision plat as may be determined necessary by the City Engineer and the Director of Planning and Development or their designees.

Mrs. Remak made the second and the motion was approved as follows:

Pat Dorr	Absent	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Kimberly Remak	Yes	Diane Senger	Yes		

NEW BUSINESS

1. Application for a Final Plat for Area 9 of Robinson Crossing Commercial Subdivision, submitted by Byron Houston, Houston Engineering, on behalf of property owners, Pleasant Hill Land & Development Co, Inc. The request is to subdivide 5.72+/-acres into 3 commercial

lots. The subject property is zoned PUD, Planned Unit Development, and is located at the southeast corner of Malone Rd N and Church Rd E. (File # SD25-0013).

- **APPLICATION SUMMARY**

This application seeks Final Plat approval to subdivide 5.72+/- acres located at the City's western gateway along the Church Rd. corridor into 3 commercial lots (below). Proposed is a cross-access easement (gray) to connect the lots with shared driveway access to Malone Rd. at one location and to Church Rd. at two. Also outlined are easements for stormwater management (blue) and a 20ft. wide landscape buffer (green).

The applicant has indicated an intent to improve the property with a convenience store with fuel pumps and a carwash. Subdivision is a key step in the development process. The subject property is located in "Area 9" of the Robinson Crossing Planned Unit Development (PUD), which was approved by DeSoto County in 2004. Robinson Crossing was annexed in 2021, coming into the city with its PUD zoning intact. Area 9 is zoned under the PUD Project Text for neighborhood retail, including the use of a convenience store and allowing a carwash as an accessory use to it. The City expanded its regulations for convenience stores on December 17, 2024, amending this PUD and 16 others to require a conditional use permit and only allow this use at signalized intersections. The developer is seeking to utilize vesting provisions adopted as part of the regulations to avoid these requirements.

Prospective use of any lot is determined by zoning and cannot be the basis to deny the subdivision of property. However, the PUD's 2004 Master Plan shows a lot layout, building configuration, and stormwater management system that is different than the lot design shown on the proposed Final Plat. If the Planning Commission were to find these deviations to be substantial, it could be used as a basis to recommend denial of the application.

STAFF PRESENTATION

Venard Asongayi, CFM, AICP, DPA, Assistant Director, presented the staff report, which is included herein by reference (File # SD25-0013)

- **PLANNING COMMISSION INQUIRY AND STAFF RESPONSE**

Mr. Stratton asked if there was an amendment pending to the project text. Mr. Asongayi advised there was not, but if the board determines it does not conform to the project text, the board could ask the applicant to submit an application to amend the project text in order for the proposed plat to conform. He also asked that the applicant is still up against the September deadline and if they meet that deadline, the new requirement of a Conditional Use Permit application wouldn't apply. Mr. Asongayi confirmed that was correct and that those benchmarks must be met to remain vested in the former process. Mr. Singh asked to confirm that the preliminary plat was already approved. Mr. Asongayi stated the Planned Development approved in 2004 constitutes the preliminary plat, because no additional streets were proposed. Mr. Singh asked if the applicant didn't want to split this into 3 lots and wanted to have the 3 proposed recorded as 1 single lot, they would still have to have this recorded by September. Mr. Asongayi advised that was correct and that this would still have to come before Planning Commission and Board of Aldermen. Mr. Jones asked if they wanted to build on 0.4 acres, would the gas station fit within those setbacks. Mr. Asongayi said the current

regulations require a minimum of 2.0+/-acres if they are not vested. This development plan is vested, so wouldn't have to meet that requirement.

- **PUBLIC MEETING**

Mr. Jones stated that he knew there were a number of people to speak for this. He advised this is a subdivision application, not a zoning action, and therefore was not a public hearing. However, he would allow representatives to speak.

- **Proponents:**

- Byron Houston, Houston Engineering, PO Box 3087, Oxford, MS – The project text states that lot lines are subject to change. These types of Plans are conceptual and outlines by design and do not normally require changes to be approved. They have concerns with conditions number 3 & 5 regarding access between the lots. Regarding Condition # 3, they can move the lot line between Lot 1 & 2 to the center of that driveway. Condition # 5, the access on Church Rd needs to stay as listed in their request. There is a 60 foot setback on that side that would make it difficult to place a building. It is further from the intersection and also further from the other entrance, which makes it safer.
- Barry Bridgforth, 3606 Bridgforth Rd, Olive Branch, MS – this was done in 2005, and developers always make modifications, especially when this is going on for long periods of time. This is improper to make us adhere to what was approved in 2004. There has been a plan to make a gas station once Malone continued through. It's a huge investment and needs to be on 2 separate lots. They go through the subdivision daily and look for any issues that need to be reported to the HOA to be addressed.

- **Opponents:**

- Erik Houston, 4403 Robinson Loop E, Olive Branch, MS – he is representing the neighborhood of Robinson Crossing. He appreciates Mr. Bridgforth's position, not wanting to adhere to the 2004 plan. He also appreciates the Board providing an opportunity to speak since this is not a public hearing. He said the residents want the plan from 2004 to be upheld. He said this is significantly different that what was approved in 2004. He wants the Planning Commission to deny this, as this is so very different from the original approval. He said they are not opposed to development, but they want any development to conform to the 2004 plan.

- **PLANNING COMMISISON DISCUSSION**

Mr. Stratton acknowledged that change does happen and has happened in the last 20 years, and that the city had tried to address that in December of 2024 with new regulations regarding convenience stores. He said this concept has changed from the original and does not meet the new regulations that were adopted in 2024. Mrs. Remak asked staff for legal clarification on what the board is being asked to vote for. Mr. Asongayi said the Planning Commission is not voting on the use; the use is already approved. She says there is drainage there at the property and doesn't understand why the division into 3 lots. Mr. Asongayi wanted to comment on Mr. Bridgforth's statement regarding the car wash and the gas station on separate lots versus the same lot. This is

what is driving the land to be divided into 3 lots. Mr. Asongayi said the Project Text states that a car wash will be an accessory use to a convenience store with fuel pumps. According to the existing zoning ordinance, an accessory use must be on the same lot, otherwise it is no longer considered as accessory. He also wanted to clarify that under the new regulation, the minimum size for a convenience store with fuel pumps is 1 acre, not 2. Mrs. Remak asked if the southern border would have a landscape buffer and landscape easements, in addition to access easements to the road. That was confirmed. Mr. Jones said that if this is an accessory use, zoning states that both uses must be on Lot 3 and asked to confirm. Mr. Asongayi confirmed that was correct. Mr. Singh asked Mr. Asongayi to go over the other options, outcomes and next steps of this application. Mr. Asongayi said if the Planning Commission denies this, this will still move to the Board of Aldermen with the Planning Commission recommendation. If the Board of Aldermen approve this plat, they will still have to record it. Civil plans would have to be submitted, then approved. Some Planned Developments include language that mandates civil plans be approved by the Board of Aldermen, rather than administratively by staff. This one does not require Board of Aldermen approval, just staff approval. However, the Planning Commission can require that as a condition of approval. Any civil plans would have to include landscaping, stormwater management, lighting plans, etc. and would all have to be approved. Mr. Jones asked the applicant if they still want to move forward with this tonight, even with the access issue not resolved. Mr. Houston asked if this could be tabled.

- **MOTION**

Mr. Stratton made a motion to deny this application. There was no second and the motion to deny failed.

Mrs. Remak made a motion to table the application to the meeting of July 8, 2025. Mr. Stratton made the second and the motion to table was approved as follows:

Pat Dorr	Absent	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Kimberly Remak	Yes	Diane Senger	Yes		

2. Application for a Final Plat of Taylor Estates, submitted by Byron Houston, Houston Engineering, PLLC, on behalf of property owners, Billy Hall and Dorothy Lowry. The request is to create 8 residential lots from 15.02+/- acres. The subject property is zoned A-R, Agricultural-Residential District, and is located at the southeast corner of Davidson Rd and Stateline Rd E. (File # SD25-0012).

- **APPLICATION SUMMARY**

The applicant, J. Byron Houston, P.E., P.L.S., on behalf of property owners Billy Don Hall and Dorothy Dell Lowry, submit for consideration a final plat for an 8-lot subdivision of an un-platted 15.02 +/- ac property located at the southeast corner of the intersection of Davidson Rd and Stateline Rd E. The property is zoned AR Agricultural Residential, which permits single family residential dwellings. The proposed lots are presently vacant, and all lots exceed the required minimum 1 acre in area. Utility lines are readily available in the vicinity of the property, with an 8" gravity sewer line, a 4" sewer force main, and a 6" water main located along Davidson Rd. There is also an 8" water main and 4" water main located along Stateline Rd. All infrastructure completion (if required) shall be the responsibility of the developer of the lots. No variances, deviations,

and/or waivers are applicable to the plat. Staff recommends approval subject to various conditions.

STAFF PRESENTATION

Kevin Norman, Senior Planner, presented the staff report, which is included herein by reference (File # SD25-0012)

• **PLANNING COMMISSION INQUIRY AND STAFF RESPONSE**

None

• **PUBLIC MEETING**

Mr. Jones asked if anyone was present to speak about the application.

○ **Proponents:**

- Byron Houston, Houston Engineering, PO Box 3087, Oxford, MS – the applicant agrees to all conditions.

○ **Opponents:**

- None

• **PLANNING COMMISISON DISCUSSION**

None

• **MOTION**

Mr. Singh made a motion to approve the final plat of “Taylor Estates” subject to the following conditions:

1. Lot improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. Future development on the lots shall comply with the applicable requirements of the City’s various land development regulations.
3. All stormwater improvements must be approved by the City Engineer.
4. Unless otherwise specified, all utilities and services (electric, telephone, cable, etc.) shall be installed underground.
5. Add the design minimum Finished Floor Elevations (FFE) of each lot.
6. The final plat must be recorded before a building permit may be issued for any development on the proposed lots.
7. Minor edits are applicable to the Final Plat as may be required by City regulations and deemed necessary by City staff.

Mrs. Remak made the second and the motion was approved as follows:

Pat Dorr	Absent	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Kimberly Remak	Yes	Diane Senger	Yes		

3. Application for a Final Plat for Caroline’s Corner Subdivision, submitted by Everette West, West Surveying, LLC, on behalf of propertys owner Miranda Strafuss Collins, Miranda Marie Bridal, Mark Strafuss and Carolyn Strafuss. The request is to create a single commercial lot of 0.952+/-acres. The subject property is zoned C-3, General Commercial District, and is

located at the southeast corner of Goodman Rd E and Hwy 178, known as 9369 Goodman Rd. (File # SD25-0014).

- **APPLICATION SUMMARY**

Everette West, West Surveying, LLC, on behalf of property owners Miranda Strafuss Collins, Miranda Marie Bridal, Mark Strafuss and Carolyn Strafuss requests approval of a final subdivision of 0.952 +/- acres. There is an existing 2 story wood sided building on the property currently used as a retail shop. The suggested lot is zoned C-3 General Commercial District. It is the intent of the property owners to remodel the landscaping along with adding a Greenhouse and flower garden to the site to be used to compliment the Bridal bouquet. Except for front and rear setbacks of the existing building that do not meet current requirements the plat meets both Zoning and Subdivision Regulation requirements. The Planning Commission on June 10, 2025, unanimously recommended approval subject to various conditions.

- **STAFF PRESENTATION**

Jeremiah McCroskey, Associate Planner, presented the staff report, which is included herein by reference (File # SD25-0014).

- **PLANNING COMMISSION INQUIRY AND STAFF RESPONSE**

None

- **PUBLIC MEETING**

Mr. Jones asked if anyone was present to speak about the application.

- **Proponents:**

- Mark Straffus, 10180 Cypress Lake Dr N, Olive Branch, MS – He had nothing to add to the report.

- **Opponents:**

- None

- **PLANNING COMMISISON DISCUSSION**

None

- **MOTION**

Mrs. Remak made a motion to approve the final plat for Caroline’s Corner Subdivision 1 Lot Minor Subdivision subject to the following:

- 1. All lot improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.**
- 2. All accessible vehicular areas, including parking stalls and associated drive aisles upon the subject property shall be paved.**
- 3. Future development on the lot shall comply with the applicable requirements of the City’s various land development regulations**
- 4. The construction of sidewalks along Old Goodman Rd. frontage of the property are waived.**
- 5. Setbacks for the existing building on the property are hereby permitted as they are at the time of approval of this plat. If the building were demolished**

in the future, a new building on the lot shall be required to meet applicable setback requirements.

6. Minor edits are applicable to the Final Plat as required by City regulations and deemed necessary by City staff.

Ms. Senger made the second and the motion was approved as follows:

Pat Dorr	Absent	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Kimberly Remak	Yes	Diane Senger	Yes		

OTHER BUSINESS

ADJOURNMENT

Mrs. Remak made a motion to adjourn the meeting at 7:22 pm. Mr. Stratton made the second and the motion was approved as follows:

Pat Dorr	Absent	Steve Stratton	Yes	Donny Singh	Yes	Dion Jones	Yes
Janice Lewis	Yes	Kimberly Remak	Yes	Diane Senger	Yes		

REPORT TO THE PLANNING COMMISSION

CAPTION / SUBJECT: Application for the 1st Revision of “Final Plat of Lot 1 and Lot 2 of Dancing Oaks Planned Commercial Development” Subdivision, submitted by Byron Houston, Houston Engineering, on behalf of John H. White et al., property owner. The request is to add a stormwater easement to the existing previously recorded plat. The subject property is zoned C-4, Planned Commercial District, and is located on the east side of Hacks Cross Rd, just north of Progress Way (#SD25-0020).

EXHIBITS:
1) Proposed Final Plat

BACKGROUND AND ANALYSIS


The final plat for Dancing Oaks was approved by the Mayor and Board of Aldermen on February 20, 2024 and recorded thereafter. The owner of Lots 1 and 2, namely, John H. White et al., proposes to revise the plat to add a common stormwater management area easement to service both lots. No issues arise in this revision regarding zoning and subdivision infrastructure relative to said 2024 approval. The revised plat meets both zoning and subdivision regulations requirements. Upon recommendation by the Planning Commission, the plat would be presented to the Board of Aldermen for consideration. Staff recommends approval.




STAFF RECOMMENDATION

Staff recommends that the Planning Commission approve the “Final Plat for Lot 1 and Lot 2 of Dancing Oaks Planned Commercial Development” subdivision and recommend same to the Board of Aldermen subject to the following:

1. Improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. All utilities and services (electric, telephone, cable, etc.) shall be installed underground. The water service lines shall be installed with tracing wire at the top.
3. Sidewalks on Hacks Cross Rd along the street frontage of Lot 1 are waived.
4. All provisions, requirements, stipulations, and/or approval conditions of the Dancing Oaks Planned Commercial Development applicable to the lots as ordered by the Board of Aldermen on December 19, 2023, regarding the amendment of the project text and associated preliminary development plan are maintained.
5. The subdivision plat must be recorded before a building permit may be approved for any development on the lots.
6. Minor edits are applicable to the plat as may be deemed necessary by city planning and engineering staff before recordation.

STAFF REPORT PREPARED BY: Venard Asongayi, CFM, AICP, DPA  **DATE:** 07/01/2025

MOTION BY: _____ **SECOND BY:** _____

	VOTE	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
	YES	_____	_____	_____	_____	_____	_____	_____
	NO	_____	_____	_____	_____	_____	_____	_____
	ABSTAIN	_____	_____	_____	_____	_____	_____	_____

OWNER'S CERTIFICATE

I, WE, _____, OWNER OR AUTHORIZED REPRESENTATIVE OF THE OWNER OF THE PROPERTY, HEREBY ADOPT THIS AS MY/OUR PLAN OF SUBDIVISION AND DEDICATE THE RIGHT-OF-WAY FOR THE USE OF ROADS AND UTILITY EASEMENTS AS SHOWN ON THE PLAT OF THE SUBDIVISION TO THE CITY OF OLIVE BRANCH, MISSISSIPPI, FOR THE PUBLIC USE FOREVER. I CERTIFY THAT I AM THE OWNER IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE. THIS THE _____ DAY OF _____, 20__.

SIGNATURE OF OWNER(S) OR AUTHORIZED REPRESENTATIVE

NOTARY'S CERTIFICATE

STATE OF _____
 COUNTY OF _____
 PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED AUTHORITY IN AND FOR SAID COUNTY AND STATE, ON THE _____ DAY OF _____, 20__, WITHIN MY JURISDICTION, THE WITHIN NAMED _____, WHO ACKNOWLEDGED THAT HE/SHE EXECUTED THE ABOVE AND FOREGOING CERTIFICATE, FOR THE PURPOSE THEREIN MENTIONED.

NOTARY PUBLIC MY COMMISSION EXPIRES

MORTGAGEE'S CERTIFICATE

_____, MORTGAGEE OF THE PROPERTY HEREON, HEREBY ADOPT THIS AS OUR PLAN OF SUBDIVISION AND DEDICATE THE RIGHT-OF-WAY FOR THE ROADS AND UTILITY EASEMENTS AS SHOWN ON THE PLAT TO THE CITY OF OLIVE BRANCH, MISSISSIPPI, FOR PUBLIC USE FOREVER. I CERTIFY THAT I AM THE MORTGAGEE IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE, THIS THE _____ DAY OF _____, 20__.

BY: _____ TITLE: _____

NOTARY'S CERTIFICATE

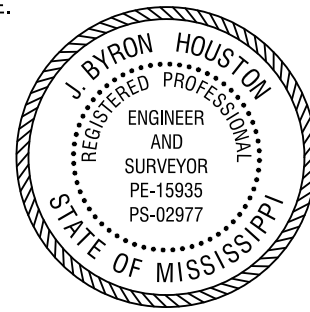
PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THE _____ DAY OF _____, 20__, WITHIN MY JURISDICTION, THE WITHIN NAMED _____, WHO ACKNOWLEDGED THAT HE/SHE IS _____ OF _____, AND THAT FOR AND ON BEHALF OF THE SAID CORPORATION, AND AS ITS ACT AND DEED HE/SHE EXECUTED THE ABOVE AND FOREGOING CERTIFICATE, AFTER FIRST HAVING BEEN DULY AUTHORIZED BY SAID CORPORATION SO TO DO.

NOTARY PUBLIC MY COMMISSION EXPIRES

CERTIFICATE OF SURVEYOR

THIS IS TO CERTIFY THAT I HAVE DRAWN THIS SUBDIVISION SHOWN HEREON AND THAT THE PLAT OF SAME IS ACCURATELY DRAWN FROM INFORMATION FROM A GROUND SURVEY BY ME.

JAMES BYRON HOUSTON, P.E.-13935, P.S.-02977 DATE _____
 P.O. BOX 3087, OXFORD, MS 38655



OLIVE BRANCH PLANNING COMMISSION

APPROVED BY THE OLIVE BRANCH, DESOTO COUNTY, MISSISSIPPI, PLANNING COMMISSION ON THIS THE _____ DAY OF _____, 20__.

_____, CHAIRPERSON

OLIVE BRANCH MAYOR AND BOARD OF ALDERMAN

APPROVED BY THE MAYOR AND BOARD OF ALDERMAN OF THE CITY OF OLIVE BRANCH, DESOTO COUNTY, MISSISSIPPI, ON THIS THE _____ DAY OF _____, 20__, MINUTE BOOK _____, PAGE _____

_____, MAYOR

_____, CITY CLERK

DESOTO COUNTY CHANCERY CLERK'S OFFICE

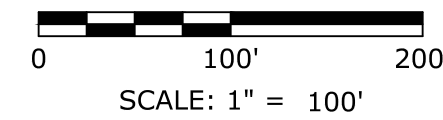
STATE OF MISSISSIPPI
 COUNTY OF DESOTO
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT _____ O'CLOCK _____ M., ON THE _____ DAY OF _____, 20__ AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEX AND DULY RECORDED WITH PLAT BOOK NUMBER _____, PAGE _____.

_____, CHANCERY COURT CLERK

NOVEMBER 15, 2023
 CLASS "A" SURVEY



ALL BEARINGS ARE REFERENCED TO U.S. STATE PLANE NAD 83 MISSISSIPPI WEST ZONE (2302). THE CONVERGENCE ANGLE (00°18'34") AND COMBINED SCALE FACTOR (0.99997996) AND WAS DETERMINED AT THE POINT OF BEGINNING.

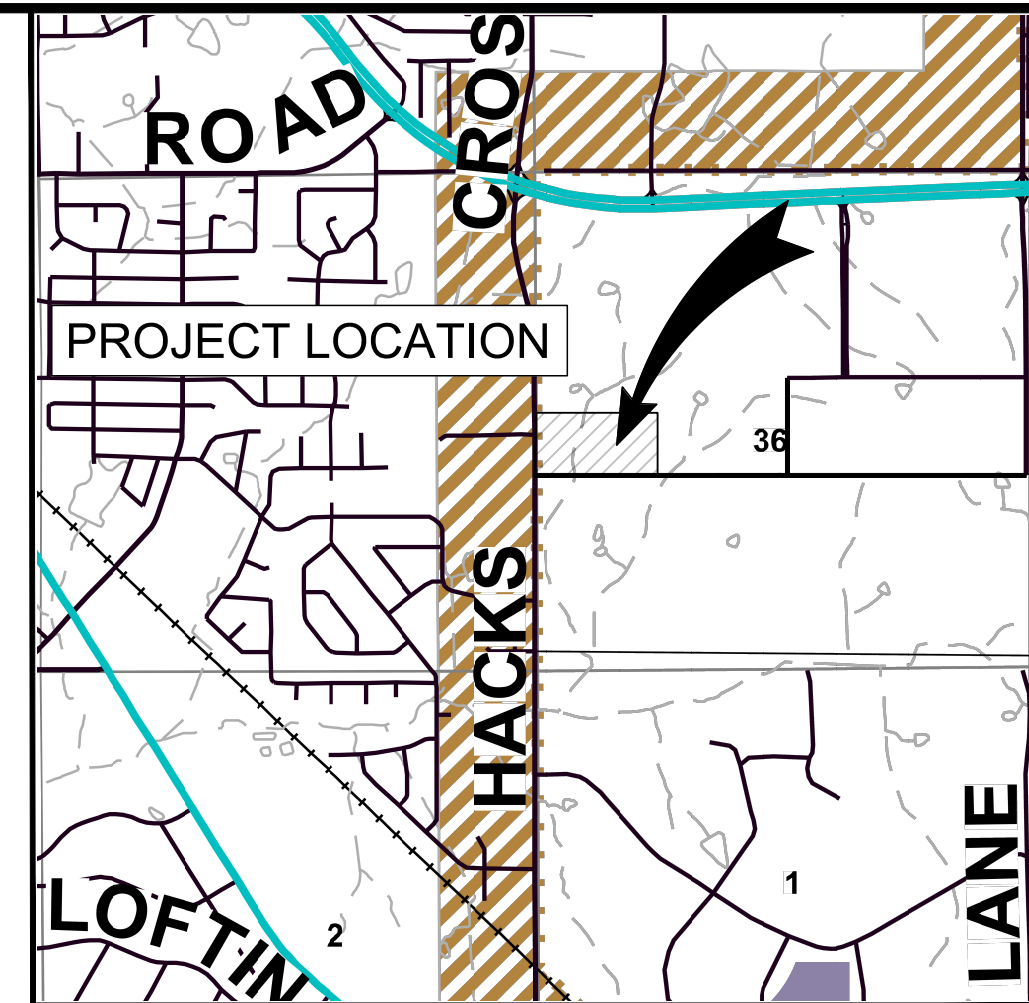


DETENTION NOTE:

THE AREAS DENOTED BY "RESERVED FOR STORMWATER DETENTION" SHALL NOT BE USED AS A BUILDING SITE OR FILLED WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM THE CITY ENGINEER. THE STORMWATER DETENTION SYSTEMS SHOWN SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND/OR OWNER'S ASSOCIATION. SUCH MAINTENANCE SHALL BE PERFORMED TO ENSURE THE SYSTEM OPERATES IN ACCORDANCE WITH THE APPROVED PLAN LOCATED IN THE CITY ENGINEER'S OFFICE. SUCH MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO REMOVAL OF SEDIMENTATION, FALLEN OBJECTS, DEBRIS AND TRASH, MOWING, OUTLET CLEANING, AND REPAIR OF DRAINAGE STRUCTURES.

PARCEL # 106736000 0000301
 WHITE JOHN H ETAL
 DEED BOOK 846/PAGE 606

PARCEL # 106736050 0001500
 LEGACY PARK BLDG 8 INC
 DEED BOOK 856/PAGE 153



OLIVE BRANCH, MISSISSIPPI
 SCALE: 1" = 2000'

GENERAL NOTES

- THE LOCATION OF ALL UTILITIES ARE APPROXIMATE.
- UTILITIES:

WATER	CITY OF OLIVE BRANCH
SEWER	CITY OF OLIVE BRANCH
GAS	CITY OF OLIVE BRANCH
TELEPHONE	AT&T
ELECTRIC	NORTHCENTRAL ELECTRIC
TELECOM	CSPIRE & CENTURY LINK
- PROPERTY IS ZONED C-4, PLANNED COMMERCIAL DISTRICT (LOT 1 ± 7.01 ACRES) (LOT 2 ± 11.32 ACRES)
- THIS PROPERTY IS LOCATED IN ZONE "X" AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FIRM COMMUNITY PANEL NO. 28033C0110H DATED MAY 5, 2014.
- ALL IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.
- APPLICABLE BUILDING SETBACKS PER CITY OF OLIVE BRANCH ZONING REGULATIONS

LEGEND

FOUND IRON BAR	○
SET 1/2" IRON BAR	●
UTILITY POLE	⊕
WATER METER	⊕
EX. SPOT ELEV.	X 335.5
RECORD MEASUREMENTS	()
PROPERTY LINE	---
CENTER LINE	---
BLDG. SETBACK LINE	---
EDGE OF PAVEMENT	---
RIGHT-OF-WAY	---
UTILITY ESMT.	▨
DRAINAGE ESMT.	▨
ELECTRIC POWER	--- OE --- OE ---
BURIED FIBER	--- BFO --- BFO ---

LINE TABLE

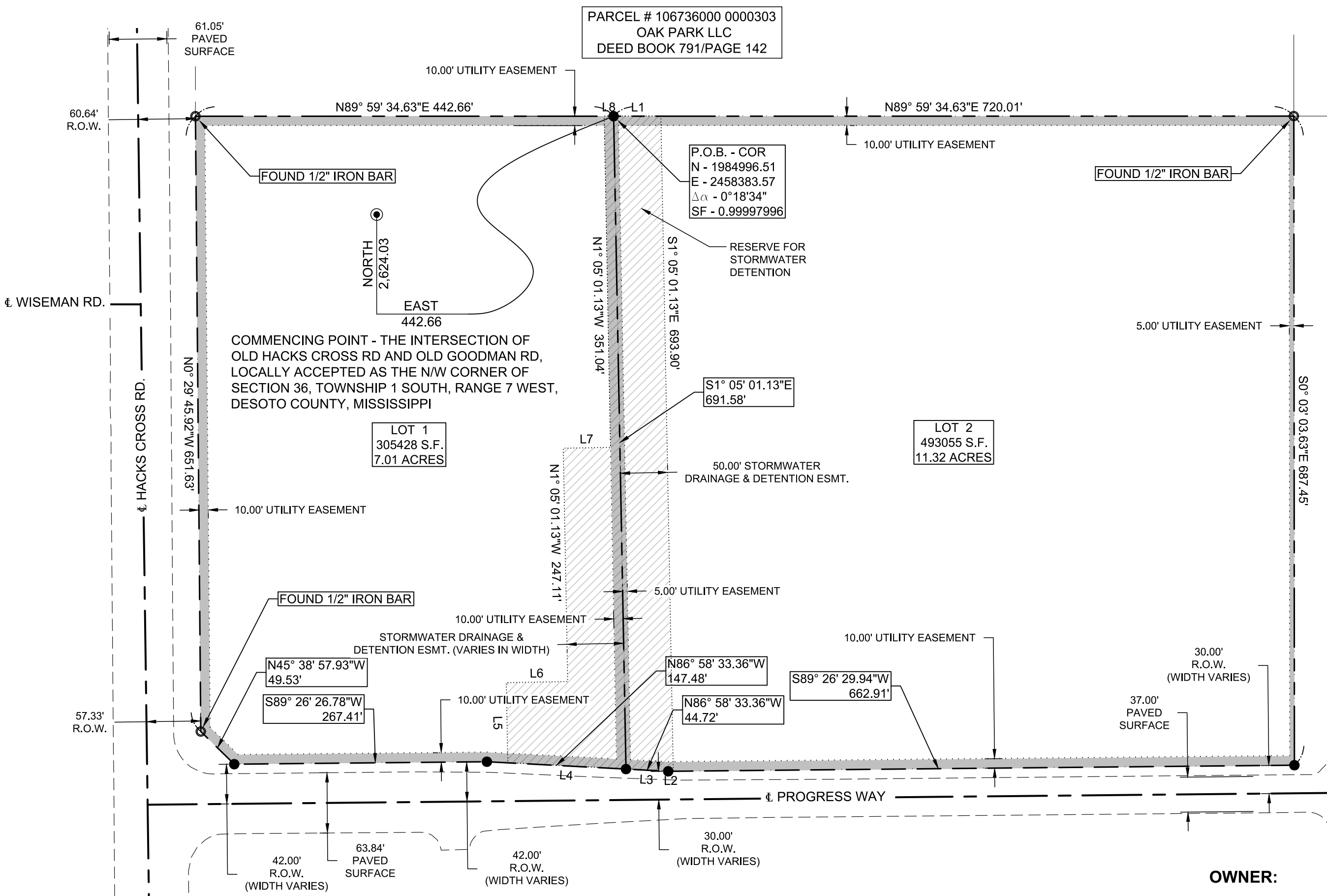
LINE	BEARING	LENGTH
L1	N89°59'34.63"E	50.01'
L2	S89°26'29.94"W	5.39'
L3	N86°58'33.36"W	44.72'
L4	N86°58'33.36"W	125.31'
L5	N1°05'01.13"W	84.65'
L6	N88°54'58.87"E	65.04'
L7	N88°54'58.87"E	50.00'
L8	N89°59'34.63"E	9.95'

SHEET 1 OF 1

**FINAL PLAT FOR
 LOT 1 & LOT 2 OF DANCING OAKS
 PLANNED COMMERCIAL DEVELOPMENT SUBDIVISION**
 BEING THE S/W 1/4 OF SECTION 36, T-1-S,
 R-6-W, DESOTO COUNTY, MS
 * * * * *
 TOTAL NUMBER OF LOTS: 2
 7.01 AC. ± LOT 1
 11.32 AC. ± LOT 2
 MILES OF NEW ROAD: 0 MILES
 AREA OF NEW ROAD: 0 SQUARE MILES

DRAWN BY: A.R.M. CHECKED BY: JBH DATE: 1/12/24

Z:\Shared\Clients\192 Yaser Saleh\003 Progress - HC\dwg\Base\003 Progress - Hacks Cross Rd - TOPO ALTA.dwg



OWNER:
 White, John H Etal
 13305 Goodman Road
 Olive Branch, MS 38654

DATE	DESCRIPTION
6/24/2025	AMENDMENT 1

REPORT TO THE PLANNING COMMISSION

CAPTION/SUBJECT: Application for a Final Subdivision Plat for Area 9 of Robinson Crossing Planned Development, submitted by Byron Houston, Houston Engineering, on behalf of property owners, Pleasant Hill Land & Development Co, Inc. The request is to subdivide 5.72+/- acres into 2 commercial lots. The subject property is zoned PUD, Planned Unit Development, and is located at the southeast corner of Malone Rd N and Church Rd E. (Tabled to this date at meeting of June 10, 2025)

- EXHIBITS:
- 1. Aerial Location & Utility Maps
 - 2. Proposed Final Plat
 - 3. Robinson Crossing PUD Project Text & Master Plan

EXECUTIVE SUMMARY: This application seeks Final Plat approval to subdivide 5.72+/- acres located at the City’s western gateway along the Church Rd. corridor into 2 commercial lots (below) – three lots were initially proposed at the June 10, 2025 Planning Commission meeting. Proposed is a cross-access easement (gray) to connect the lots with shared driveway access to Malone Rd. at one location and to Church Rd. at two. Also outlined are easements for stormwater management (blue) and a 20ft. wide landscape buffer (green).



The applicant has indicated an intent to improve the property with a convenience store with fuel pumps and a carwash. Subdivision is a key step in the development process. The subject property is located in “Area 9” of the Robinson Crossing Planned Unit Development (PUD), which was approved by DeSoto County in 2004. Robinson Crossing was annexed in 2021, coming into the city with its PUD zoning intact. Area 9 is zoned under the PUD Project Text for neighborhood retail, including the use of a convenience store and allowing a carwash as an accessory use to it. The City expanded its regulations for convenience stores on December 17, 2024, amending this PUD and 16 others to require a conditional use permit and only allow this use at signalized intersections. The developer is seeking to utilize vesting provisions adopted as part of the regulations to avoid these requirements.

Prospective use of any lot is determined by zoning and cannot be the basis to deny the subdivision of property. The Master Plan did not depict a location for stormwater management in this Area 9, which has been provided in this

subdivision plat. However, the PUD’s 2004 Master Plan shows three (3) lots, which is different from the two (2) lots proposed in this Area 9. This deviation could be a basis for denial if found to be substantial.

BACKGROUND: Replacing the “Annabelle” Planned Unit Development (PUD) from 2003, Robinson Crossing was approved by DeSoto County Board of Supervisors on March 3, 2004 and annexed into Olive Branch effective May 28, 2021. The PUD is 231.60+/- acres and is located at the southeast corner of Malone and Church Roads. The PUD Master Plan depicts 9 “Areas”. Areas 1-7 were planned for single family and at this juncture of project development, there are over 300 platted single-family lots and approximately 250 homes have been built, meaning there are likely over 500 residents in the Robinson Crossing neighborhood. Development has yet to occur in Area 8, which is planned for retirement housing, and in Area 9, which is the 5.72+/- acres located at the southeast corner of the intersection of Church and Malone Roads that is proposed in this application for a 2-lot commercial subdivision.

Permissible uses in Area 9 were established in the 2004 Robinson Crossing PUD Project Text. The 2004 list is recopied, below, and includes the uses that are proposed for development in the commercial subdivision.

- H. Area 9
Uses shall be permitted and regulated in the "C-4" Planned Commercial District as modified herein. The following uses shall be permitted:
- | | |
|---|---|
| Art studio | Restaurants with indoor seating and without drive-in or drive-thru facilities |
| Bakery, retail | Retail shop sales and services |
| Bank, financial services, savings and loans | Public service facility |
| Beauty/barber shop | Church |
| Book store | Daycare centers |
| Convenience store | Post office or postal facility |
| Car wash as an accessory to convenience store | I. All Areas |
| Doctor's office | Churches and places of worship shall be allowed within all areas of development with direct access to a major road. |
| Drug store or pharmacy | |
| Dry cleaning pickup station | |
| Music/dance studio | |
| Office | |
| Personal service establishment | |
| Photo finishing | |
| Photo finishing pickup station | |
| Photography studio | |
| Print shop not exceeding 2,500 square feet | |

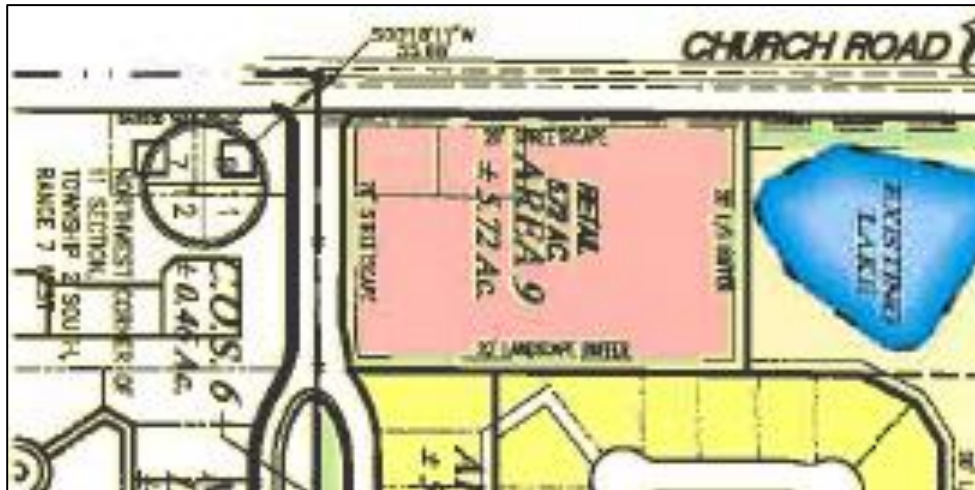
On November 15, 2022, the Board of Aldermen adopted regulations that amended several of the City’s “conventional” zoning districts (C-1, C-2, C-3, C-5, M-1, & M-2) to only allow “Convenience Stores with Fuel Pumps” as a conditional use. A conditional use requires approval of the City’s Board of Adjustment at a public hearing. The regulations included requirements for these establishments to be at a signalized intersection with no more than two at a four-way intersection. On December 17, 2024, the Board expanded the regulations to make “Convenience Stores with Fuel Pumps” conditional uses in the planned, “non-conventional” zoning districts (C-4 & PUD) and added design requirements. In a companion item, the Board amended Project Texts in 17 planned developments located throughout the City. The approval cited the Robinson Crossing PUD Project Text among the 17, stating, “5.72+/- acre “Area 9” of the Robinson Crossing Planned Unit Development (formerly Annabelle), located at the southeast corner of Malone Rd. and Church Rd...to remove “Convenience Store” from the list of permitted uses and add “Convenience Store with Fuel Pumps” as a conditional use.”

Because there were convenience store development projects that had been underway prior to the 2022 ordinance and the 2024 revisions – whether they were actively in the planning stages or under construction – the 2024 amendment included vesting provisions. The regulations allowed for projects in phases of planning, review, permitting, or construction to meet vesting provisions. If vested, a project could avoid the requirement to obtain a conditional use permit and would not be subject to the locational criteria at signalized intersections and other design regulations added in 2024. Steps and timelines proposed to vest a project include having preliminary plat approval by June 30, 2025, final plat approved and recorded by September 30, 2025, obtaining civil site plan approval by December 31, 2025, building permit by March 31, 2026, and completing construction by March 31, 2027.

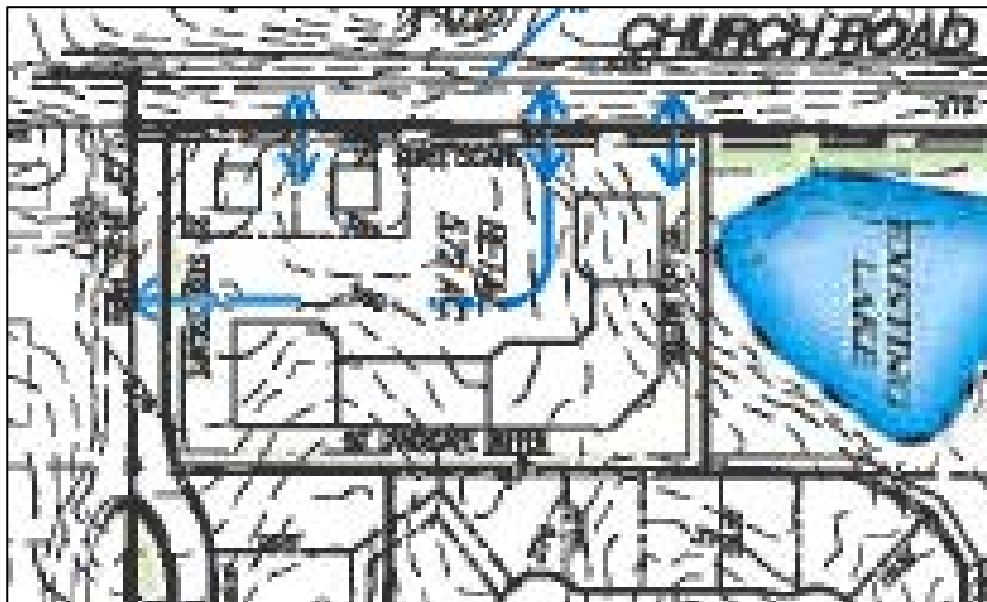
Applicant Pleasant Hill Land & Development Co, Inc. is attempting to meet the vesting timeline by obtaining final plat approval and having a plat recorded by September 30, 2025.

The Robinson Crossing PUD was not limited to a use list. It also incorporated a “Master Plan” map series. Parts of the map series, with Area 9 enlarged, is below:

Land Use Plan – Exhibit F



Preliminary Site Plan – Exhibit G



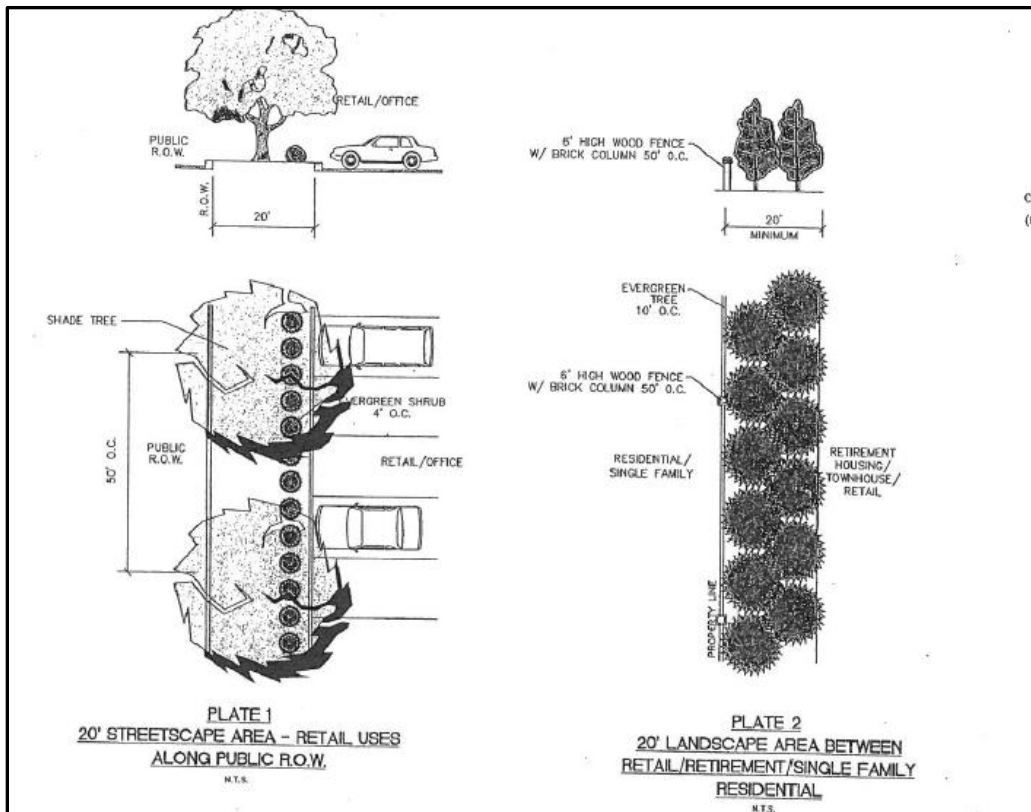
Site Plan with Aerial Photograph – Exhibit H



Master Plan Illustration – Exhibit I



In the PUD Project Text, Area 9 also had bulk regulations, including setbacks and a maximum floor area ratio of 25%, which means only ¼ of the area of any lot may be developed with a building footprint. There were also 20' wide landscape buffer plates included in the PUD that are applicable to the project perimeter. The plate on the left side is applicable to the Church and Malone Road frontages and the one on the right will be required along the south and east sides of the subdivision. In addition to plantings, it includes a 6' wooden fence with columns.



While the PUD did not contain specific architectural requirements, it does make reference to the need for a “Declaration of Covenants, Conditions, and Restrictions” (CCR’s) and for an “Owners Association...to assure that developments within the neighborhood are complete to the high standards...” The single-family residential parts of Robinson Crossing have been developed in this manner, with CCR’s that maintained high quality residential homes. However, draft CCR’s for the proposed commercial subdivision were not included in the application.

ANALYSIS:

1) Scope of Review

The review of subdivision plat applications is not focused on a specific potential use of a piece of property, which may change with time. For this reason, property owners can and often legally subdivide property without a particular use of the proposed lots in view. Each parcel of land in the City of Olive Branch has a specified zoning district. The use of the property is determined by the list of permitted and/or conditional uses that are specified in the Zoning Ordinance for the zoning district in which the property is classified or stipulated in the project text for planned developments. Therefore, the future land use of proposed lots pursuant to approved zoning cannot be the basis to deny the subdivision of this property.

Subdivision plats address two main issues, which define the scope of their review and approval:

- (i) The partitioning of the property such that the proposed lot sizes, their configuration, the setbacks of any buildings thereon, etc. conform with applicable zoning regulations – in this case, compliance with the project text and associated preliminary development plan for Robinson Crossing Planned Development.
- (ii) The availability and sufficiency of subdivision infrastructure, mainly utilities, stormwater management facilities, and streets to service each of the proposed lots.

2) Partitioning of the Property

2.1. PUD Compliance, Zoning, & Lot Configuration

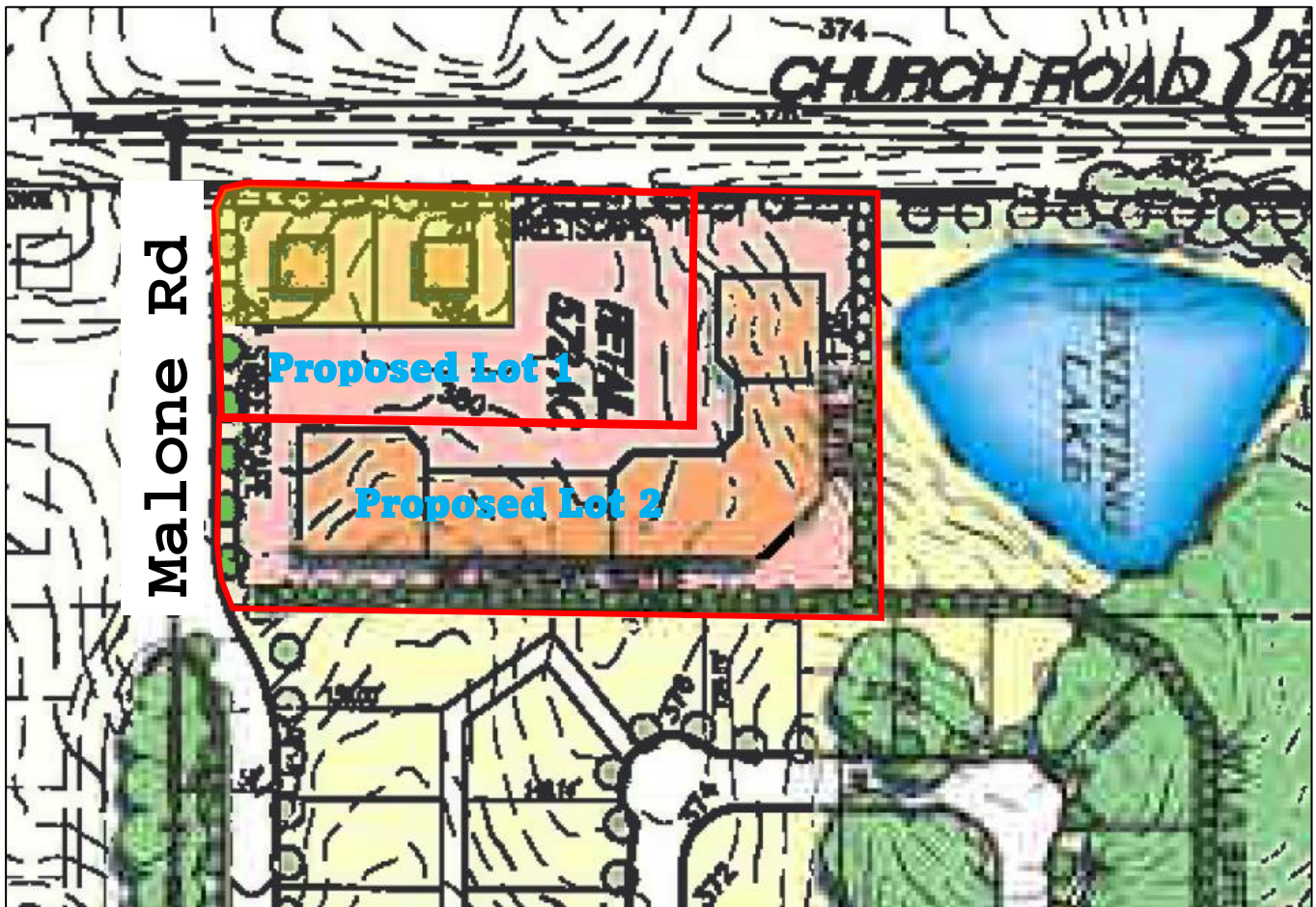
Prospective use of any lot is determined by zoning and in this case, the Robinson Crossing PUD allows for the use of a convenience store - without the requirement to obtain a conditional use permit if the vesting timeline is met - and a carwash as an accessory use to it.

The PUD's 2004 Master Plan map series conceptualized three lots in the subject property area with one large lot wrapping around two small lots to the south and east. Combined, the two lots scale out to be just over $\frac{3}{4}$ acre, with 125' of depth. Proposed Lot 1 is 2.60ac in size and is 272.53' in width. Lot 2 is 3.12+/- acres and is 196.36' wide. Lot 1 is 272.53' deep and Lot 2 is 423.28' deep. The two-lot proposal, therefore, involves eliminating the lot line between the two small, conceptualized lots and increasing their aggregate size. There is no maximum lot size requirement regarding any area of the Robinson Crossing development. Article IV, Sec. J of the Subdivision Regulations provide that "The basic purpose of PUD is to allow flexibility in the development of planned communities." In this regard, it is not uncommon for conceptualized lot sizes to be altered in commercial areas of planned developments as developers move from preliminary plats in project texts of planned developments to final plats.

However, in the PUD's 2004 Master Plan Map series, what is proposed as Lot 2 is one large lot on which a linear, neighborhood commercial center building was sited. The building was planned for the south part of the 5.92+/- acres and separates two small commercial outparcel lots located at the hard corner at the intersection from the planned single-family area. Although the map series is not labeled, it would appear the smaller outparcel lots were planned for the convenience store and the accessory carwash. In 2004, the scale of both convenience stores and carwashes was smaller than it is today. For example, carwashes often had a drive-in bay with depth for a single vehicle, in which the automated equipment moved while the vehicle remained stationary. In contrast, many of the carwashes built more recently have tunnels and an automated track to bring a line of vehicles through multiple modes of washing, cleaning, coating, and drying. The number of vacuum stations to clean the interior of vehicles has also expanded substantially.

The Project Text has a general statement that makes it clear that parts of the map series are general and conceptual and that adjustments were to be expected as the project developed. But it specifically states that, "...*final plans for each phase will be required*" and that the Developer will submit for approval, "...*a final site plan which will illustrate not only the spatial relationship of areas and lots within the phase to be undertaken, but also how those areas and lots relate to adjacent phases...*" In the development phasing section of the Project Text, it specifically notes that a final site plan/plat is required for each phase and that it must comply with the regulations and, "...*to establish that it substantially conforms to the conditions of the Outline Plan...*" In the exhibit, below, the proposed

plat (red lines) is superimposed over the Master Outline Plan, with the two smaller “lots” highlighted in yellow.



The City’s standard subdivision regulations cite requirements for the Final Plat to conform to the approved Preliminary Plat, which is the Outline Plan in the case of the Robinson Crossing PUD. While the plat does not appear to be the same (exact) as the Master Plan if viewed narrowly from the perspective of number of lots and their size, it does appear to align with the Master Plan broadly when considered from the perspective of general layout and the flexibility accorded in the Subdivision Regulations regarding the development of PUDs. The City’s regulations for final plats in planned commercial districts have several additional requirements, including the submission of deed restrictions. In this case, deed restrictions could address architectural and signage issues which would help to ensure future development on the lots appropriately related to the high-quality architecture in the adjacent single-family neighborhood.

2.2. Setbacks & Landscape Buffers

The setbacks are appropriately reflected on the Final Plat as they appear in the PUD Project Text: 50' front (along Church & Malone), 15' interior side, and 60' abutting residential (south & east sides). The Final Plat also correctly shows the 20' wide landscape buffer along the project perimeter. The landscape plate along the south side abutting the single-family homes includes a 6' wooden fence with brick columns 50' on center.

3) Availability and Sufficiency of Subdivision Infrastructure to Service Proposed Lots

3.1. Utilities & Stormwater

Utilities are available to the site and appear to be sufficiently sized to support future development. There is a 12-inch water main on Malone Rd. and a natural gas line runs along both Malone and Church Roads. There is a sewer manhole in the southwest corner of the subject property.

There is a proposed shared stormwater detention pond shown on the Proposed Plat along the rear of Lots 1 & 2 with a connecting 15' wide shared drainage easement through what appears to be a low part of Lot 3 to an area that was shown to have an existing lake on the 2006 Master Plan series. It appears this lake has since been drained, but it may still be classified as a wetland and an ACOE permit may be required. The proposed stormwater management system, which conflicts with the planned location of a neighborhood commercial center building from the 2006 PUD Master Plan, would be subject to review by the City's Engineering Department.

3.2. Access & Circulation

The proposed plat depicts a 36' wide shared cross-access easement to provide connectivity between the lots. The easement shows an ingress/egress driveway connection to Malone Rd. at one location and to Church Rd. at two. This is a reduction of one ingress/egress driveway from the 2006 Outline Plan, which shows 3 driveway connections to Church Rd.

The subject property is at the intersection of Church Rd and Malone Rd. Church Road is a "minor arterial." This road class is intended to carry large volumes of traffic for statewide or regional travel. It is a five-lane section line road. Malone Road segments inside the City are classified as a "major collector." The Comp Plan anticipates the extension of Malone southward to College Rd. When Malone is extended, it might remain a major collector or could be reclassified to a minor arterial road if the Board of Aldermen determines appropriate. Both Malone and Church are section line roads; therefore, the subject property is at the intersection of two section line roads one of which is an arterial and the other a collector. The subject property is not a neighborhood commercial site at the intersection of two local roads, but rather, neighborhood commercial at that intersection of an arterial and a collector street.

NEXT STEPS:

The Planning Commission's recommendation on the Final Plat will be forwarded to the Board of Aldermen to review at the July 15, 2025, meeting. Like the Planning Commission meeting, this would not be a public hearing matter. A Final Plat will need to be recorded before any building permits could be issued.

ALTERNATIVE MOTIONS:

Alternatives are offered for the consideration of the Planning Commission.

Motion to Approve:

Should the Planning Commission find the Final Plat reasonably conforms to the Robinson Crossing PUD 2006 Outline Plan and/or other aspects of the PUD's Map Series and Project Text, recommend the Board of Aldermen approve the application.

If the Planning Commission were to recommend approval, the following conditions are suggested:

1. Improvements to be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. Future applications shall comply with the City's land development regulations and the requirements of the PUD Project Text. This includes submission of Conditions, Covenants, and Restrictions (CCR's) to address building architecture, including materials, colors, screening of all rooftop or ground mounted equipment, and restrictions on the number, size, and materials used for signage. These CCR's will be reviewed and approved by the City's Planning & Development Department before the Final Plat is recorded.
3. Civil site plans for grading, drainage, driveway and utilities on the lots to be approved by the City Engineering Dept. Architectural renderings, landscape, and lighting plans to be approved by the City's Planning & Development Department.
4. Church Rd. sidewalks are waived, but the Malone Road sidewalk is required and shall be extended to the intersection.
5. Streetlight plans to be submitted to the City Engineer for approval.

6. Unless otherwise noted, all utilities and services (electric, telephone, cable, etc.) to be installed underground.


Motion to Deny:

Should the Planning Commission find the Final Plat does not conform to the Robinson Crossing PUD 2006 Outline Plan, and/or other aspects of the PUD's Map Series and Project Text, recommend the Board of Aldermen deny the application. This would require the Applicant to either revise the Final Plat to match the Outline Plan or to file for an Amendment to the Robinson Crossing PUD, which would be reviewed at advertised public hearings.

Recommend further that any Amendment filed for the PUD should include a rendered site plan for the lots, and full architectural elevations for proposed buildings, which would specify materials, colors, signage, etc.

Motion to Table:

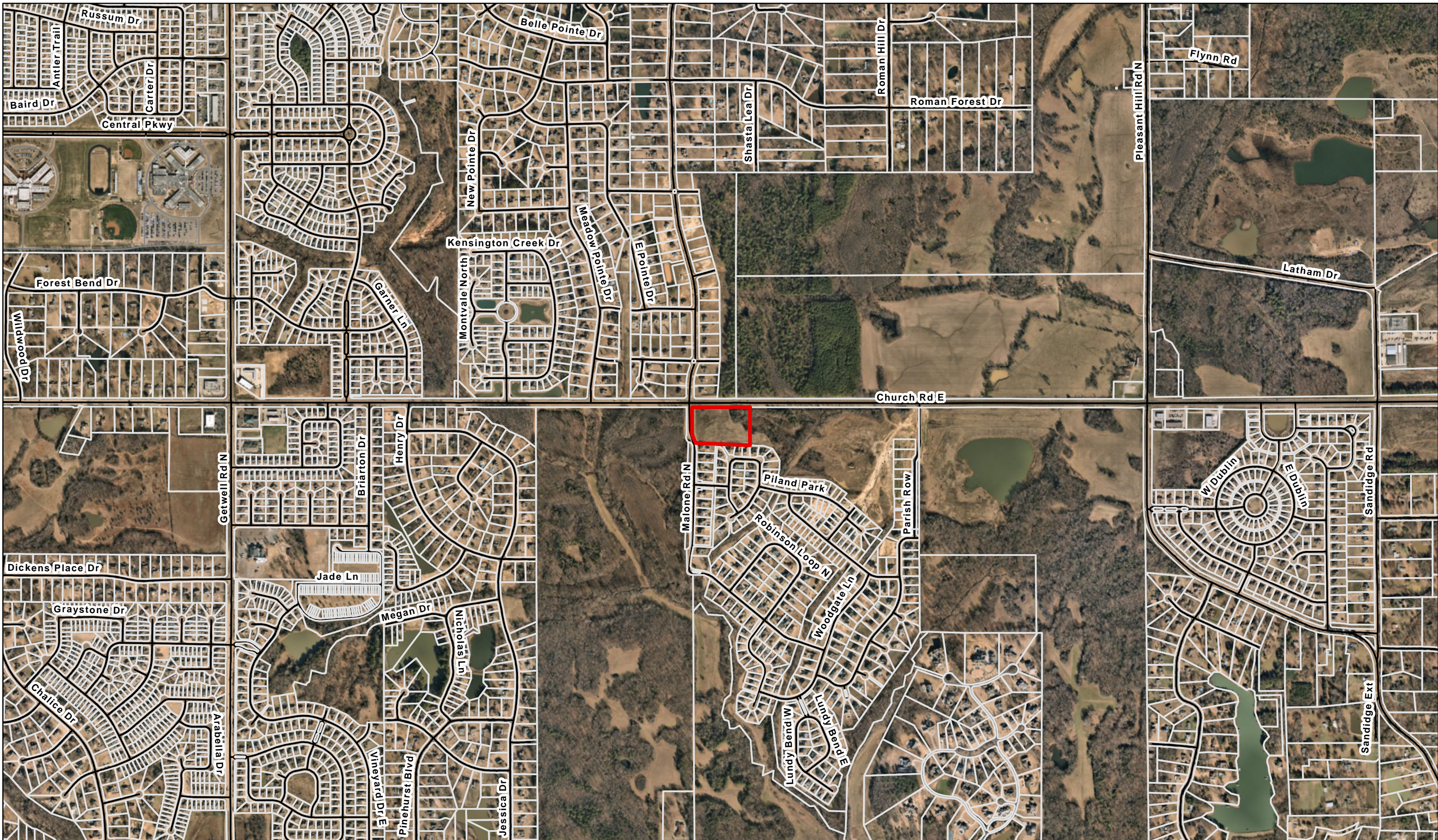
If applicant Pleasant Hill Land & Development Co, Inc. was amenable to revising the current application with the benefit of receiving feedback from Planning Commissioners, the Planning Commission maintains the option to table the item.

STAFF REPORT PREPARED BY: Venard Asongayi, CFM, AICP, DPA  **DATE:** 07/02/2025

MOTION BY: _____ **SECOND BY:** _____



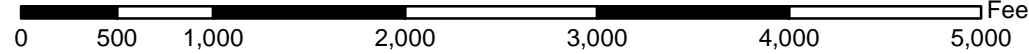
	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
VOTE	_____	_____	_____	_____	_____	_____	_____
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____



Robinson Crossing Area 9 Commercial S/D

2025 Imagery Map

1 inch = 1,000 feet

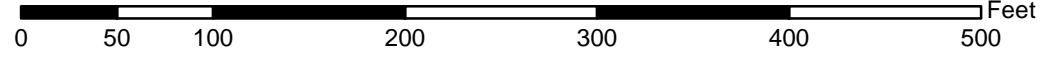




Robinson Crossing Area 9 Commercial S/D

Utilities Map

- MANHOLE
- SEWER GRAVITY
- SEWER FORCE MAIN
- HYDRANTS
- WATER VALVES
- WATER MAIN
- GAS VALVES
- GAS MAIN



CERTIFICATE OF MINOR SUBDIVISION

PURSUANT TO THE CITY OF OLIVE BRANCH, MISSISSIPPI SUBDIVISION REGULATIONS, THIS DOCUMENT WAS GIVEN APPROVAL TO BE CLASSIFIED AS A MINOR SUBDIVISION BY THE STAFF DURING THE PRE-APPLICATION CONFERENCE HELD ON _____ DATE OF _____, 20____ AND CONFIRMED BY THE CITY PLANNING COMMISSION ON _____ DATE OF _____, 20____.

DATE OF EXECUTION

DATE OF EXECUTION

CITY PLANNING STAFF

CHAIRMAN, CITY PLANNING COMMISSION
OLIVE BRANCH, MISSISSIPPI

OWNER'S CERTIFICATE

I, (WE), THE UNDERSIGNED, OWNER(S) OR AUTHORIZED REPRESENTATIVE OF THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREIN, HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION AND DEDICATE THE RIGHT-OF-WAY FOR THE ROADS AS SHOWN ON THE PLAT OF THE SUBDIVISION FOR PUBLIC USE FOREVER AND RESERVE FOR THE PUBLIC UTILITIES THE UTILITY EASEMENTS AS SHOWN ON THE PLAT. I HEREBY CERTIFY THAT I AM THE OWNER IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE. THIS THE _____ DAY OF _____, 20____.

(SIGNED)

NAME & ADDRESS

SOURCE OF TITLE: D.R. _____, PAGE _____

NOTARY'S CERTIFICATE (FOR OWNER)

PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THE _____ DAY OF _____, 20____.

_____ WITHIN MY JURISDICTION, THE WITHIN NAMED _____, WHO ACKNOWLEDGES THE HE/SHE IS _____ OF _____, A _____, AND THAT FOR AND ON BEHALF OF _____, AND AS ITS ACT AND DEED, HE/SHE EXECUTED THE ABOVE AND FOREGOING CERTIFICATE FOR THE PURPOSES MENTIONED ON THE DAY AND YEAR HEREIN MENTIONED, AFTER FIRST HAVING BEEN DULY AUTHORIZED TO DO SO.

NOTARY PUBLIC

MY COMMISSION EXPIRES

MORTGAGEE'S CERTIFICATE

_____, MORTGAGEE OF THE PROPERTY HEREON, HEREBY ADOPTS THIS AS OUR PLAN OF SUBDIVISION AND DEDICATE THE RIGHT-OF-WAY FOR THE ROADS AS SHOWN ON THE PLAT OF THE SUBDIVISION FOR PUBLIC USE FOREVER AND RESERVE FOR THE PUBLIC UTILITIES THE UTILITY EASEMENTS AS SHOWN ON THE PLAT. I HEREBY CERTIFY THAT I AM THE MORTGAGEE IN FEE SIMPLE OF THE PROPERTY AND THAT NO TAXES HAVE BECOME DUE AND PAYABLE. THIS THE _____ DAY OF _____, 20____.

(SIGNED)

TITLE _____ NAME _____

BANK NAME

NOTARY'S CERTIFICATE (FOR MORTGAGEE)

_____ PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED AUTHORITY IN AND FOR THE SAID COUNTY AND STATE, ON THE DAY OF _____, 20____. WITHIN MY JURISDICTION, THE WITHIN NAMED _____, WHO ACKNOWLEDGES THE HE/SHE IS _____ OF _____, AND THAT FOR AND ON BEHALF OF SAID BANK, AND AS ITS ACT AND DEED HE/SHE EXECUTED THE ABOVE AND FOREGOING CERTIFICATE AFTER FIRST HAVING BEEN DULY AUTHORIZED TO DO SO.

NOTARY PUBLIC

MY COMMISSION EXPIRES

CERTIFICATE OF RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON WAS FILED FOR RECORD IN MY OFFICE AT _____ O'CLOCK _____, ON THE _____ DAY OF _____, 20____, AND WAS IMMEDIATELY ENTERED UPON THE PROPER INDEXES AND DULY RECORDED IN PLAT BOOK _____, PAGE _____.

(SIGNED)

NAME, CLERK

DECLARATION OF RESTRICTIVE COVENANTS RECORDED IN DEED RECORD BOOK

_____, PAGE _____, ON THIS _____ DAY OF _____, 20____.

(SIGNED)

NAME, CLERK

CERTIFICATE OF ENGINEERING ACCURACY

I, J. BYRON HOUSTON, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY AND PLAN MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN; AND THAT ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF OLIVE BRANCH, MISSISSIPPI HAVE BEEN FULLY COMPLIED WITH.

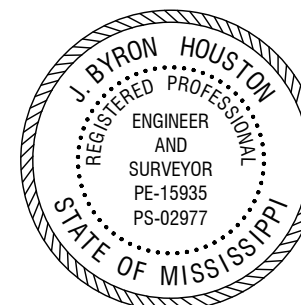
(SIGNED)

DATE OF EXECUTION

J. BYRON HOUSTON, P.E., P.S.

REGISTERED PROFESSIONAL ENGINEER

NO. 15935, MISSISSIPPI



CERTIFICATE OF FINAL APPROVAL

PURSUANT TO THE CITY OF OLIVE BRANCH, MISSISSIPPI SUBDIVISION REGULATIONS, THIS DOCUMENT WAS GIVEN APPROVAL BY THE OLIVE BRANCH CITY PLANNING COMMISSION AT A MEETING HELD ON THE _____ DAY OF _____, 20____. ALL OF THE CONDITIONS OF APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED, AND THIS CERTIFICATE EXECUTED UNDER AUTHORITY OF THESE REGULATIONS.

DATE OF EXECUTION

CHAIRMAN, CITY PLANNING COMMISSION
OLIVE BRANCH, MISSISSIPPI

SECRETARY

CITY ENGINEER

_____ PURSUANT TO THE SUBDIVISION REGULATIONS OF THE CITY OF OLIVE BRANCH, MISSISSIPPI, THIS DOCUMENT WAS GIVEN APPROVAL BY THE MAYOR AND BOARD OF ALDERMEN AT A MEETING HELD ON THE _____ DAY OF _____, 20____. ALL OF THE CONDITIONS OF APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED, AND THIS CERTIFICATE EXECUTED UNDER AUTHORITY OF THESE REGULATIONS, PROVIDED, HOWEVER, THIS APPROVAL SHALL BE INVALID, NULL AND VOID, UNLESS THIS PLAT IS FILED WITH THE CHANCERY CLERK WITHIN TWELVE (12) MONTHS HEREAFTER.

DATE OF EXECUTION

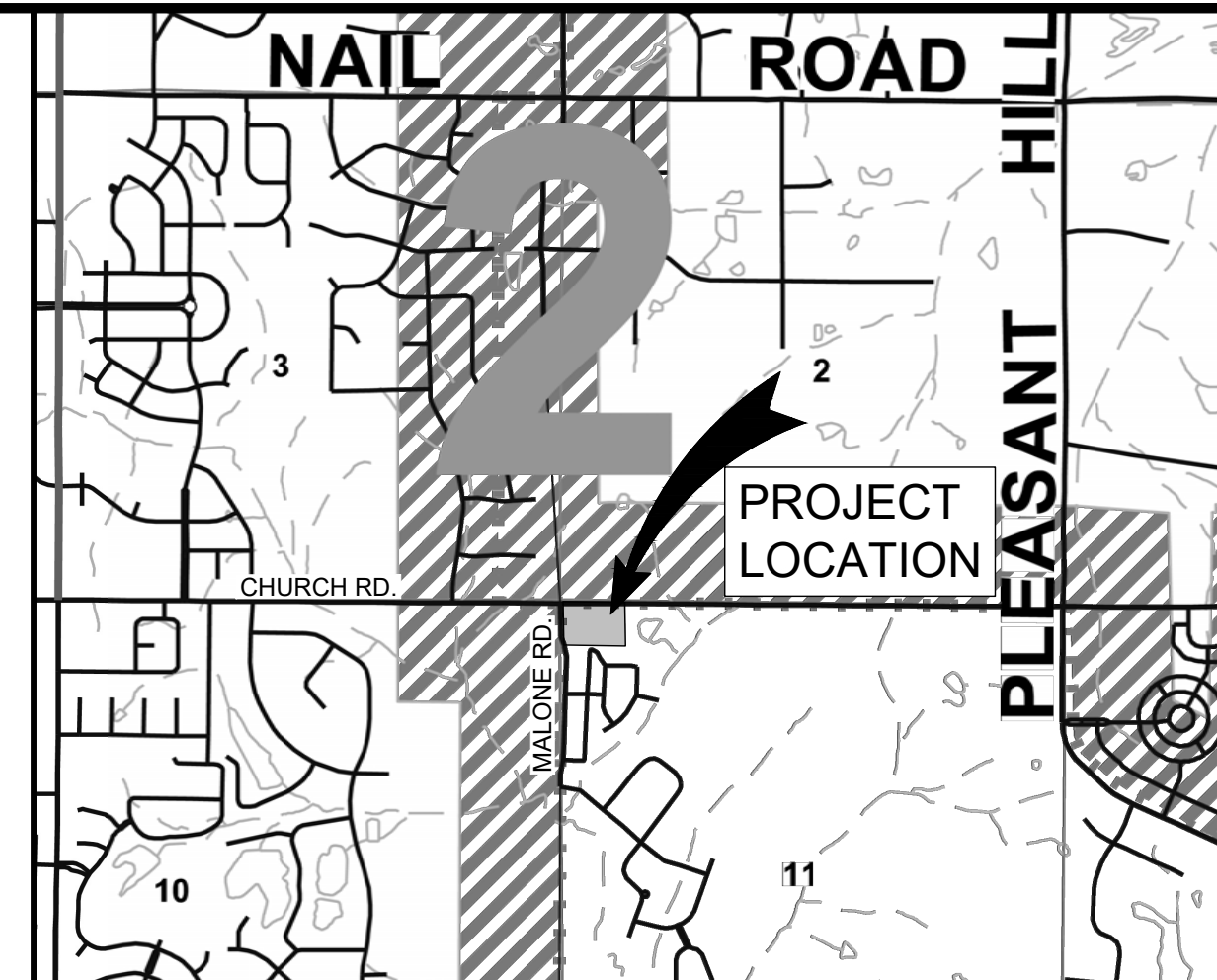
MAYOR, CITY OF OLIVE BRANCH, MISSISSIPPI

CITY CLERK

OWNER:

PLEASANT HILL LAND & DEVELOPMENT CO., INC.
3606 BRIDGFORTH ROAD
OLIVE BRANCH, MS 38654

LOT 1 - 2.60 ACRES
LOT 3 - 3.12 ACRES
TOTAL - 5.72 ACRES



OLIVE BRANCH, MISSISSIPPI

SCALE: 1" = 2000'

SHEET 1 OF 2

FINAL PLAT FOR
AREA 9 OF ROBINSON CROSSING
COMMERCIAL SUBDIVISION
5.72 AC. ± BEING IN THE N/W 1/4 OF SECTION 11,
T-2-S, R-7-W,
DESOTO COUNTY, MS

DRAWN BY: MSK

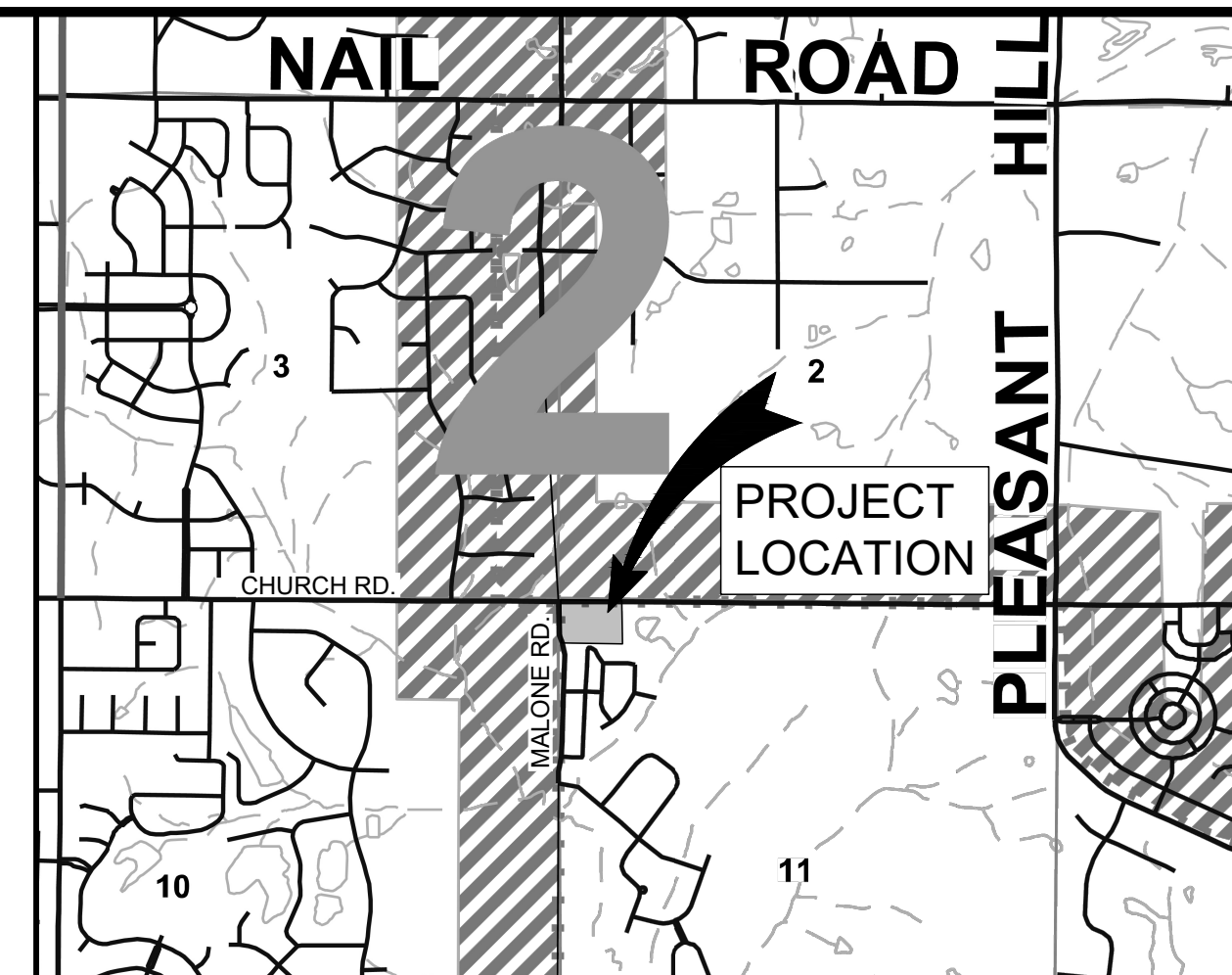
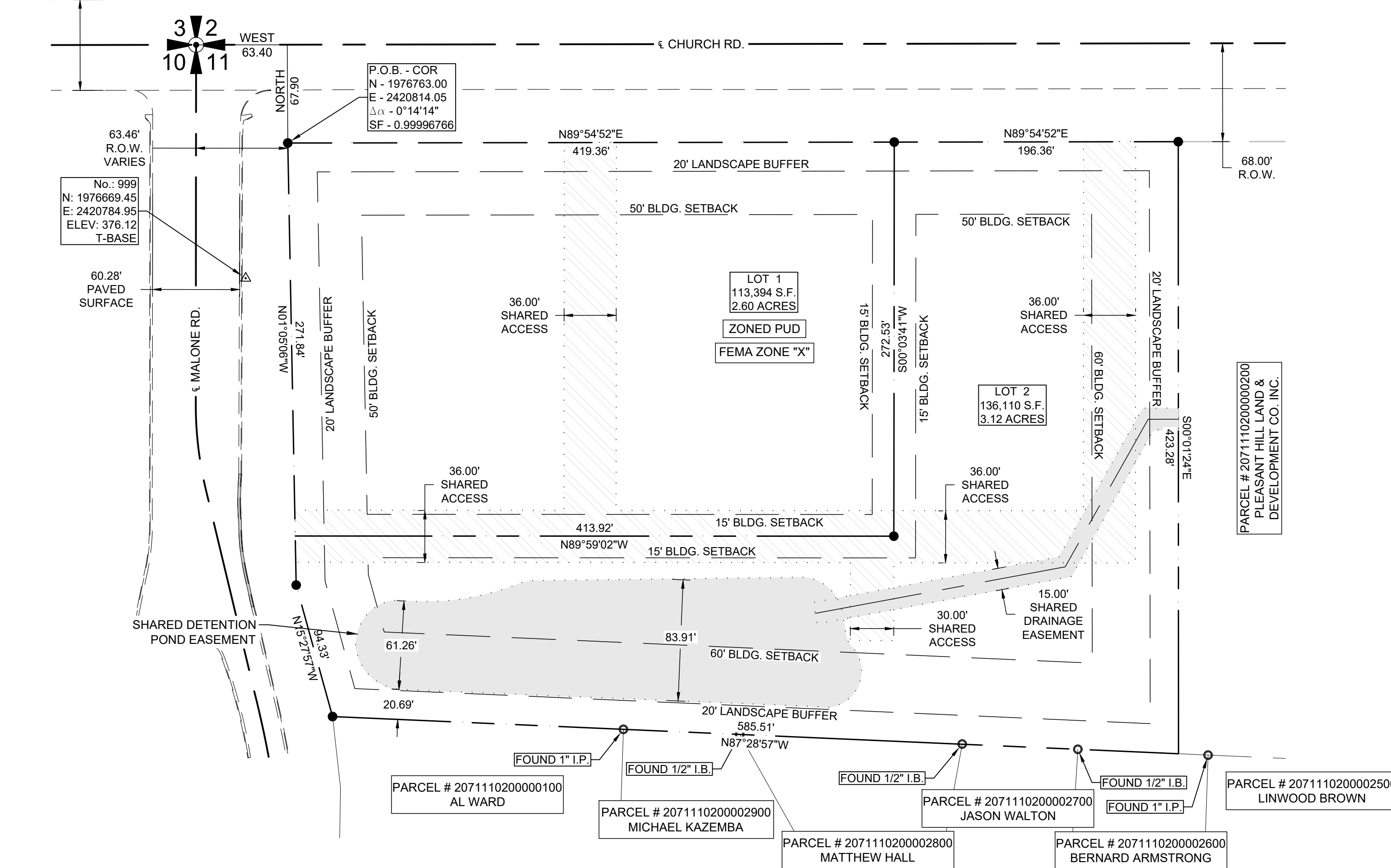
CHECKED BY: JBH

DATE: 6/4/25

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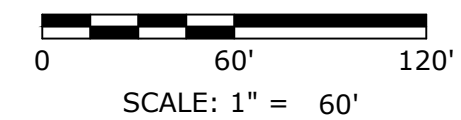
62.71' PAVED SURFACE COMMENCING POINT - NORTHWEST CORNER OF SECTION 11, TOWNSHIP 2 SOUTH, RANGE 7 WEST, OLIVE BRANCH, DESOTO COUNTY, MS.



OLIVE BRANCH, MISSISSIPPI
SCALE: 1" = 2000'

MARCH 28, 2025
CLASS "A" SURVEY

ALL BEARINGS ARE REFERENCED TO U.S. STATE PLANE NAD 83 MISSISSIPPI WEST ZONE (2302). THE CONVERGENCE ANGLE (00°14'14") AND COMBINED SCALE FACTOR (0.99996766) AND WAS DETERMINED AT THE POINT OF BEGINNING.



SURVEY NOTES:

- OWNER OF RECORD OF PROPERTY SURVEYED:
PLEASANT HILL LAND & DEVELOPMENT COMPANY INC.
- PROPERTY ADDRESS: S/E CORNER OF MALONE & CHURCH RD.
- THERE WERE NO VISIBLE STRUCTURES LOCATED ON THIS PROPERTY AS OF THE DATE OF THIS SURVEY.
- BEFORE THE FIELD SURVEY WAS PERFORMED, HOUSTON ENGINEERING NOTIFIED MISSISSIPPI 811 TO HAVE UTILITIES LOCATED WITHIN 100' OF THE PROPERTY SURVEYED. ALL UTILITIES THAT WERE LOCATED BY THE MISSISSIPPI 811 ACTIVATION ARE SHOWN HEREON. THE EXACT LOCATION AND DEPTH OF SAID UTILITIES ARE UNKNOWN AS THEY WERE NOT UNEARTHED FOR THIS SURVEY.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY.
- THIS PROPERTY LIES WITHIN THE CORPORATE LIMITS OF THE CITY OF OLIVE BRANCH AND IS ZONED PUD AND IS SUBJECT TO ZONING OR USE REGULATIONS.
- THIS SURVEY PLAT IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.
- NO VISIBLE, OBVIOUS, AND/OR APPARENT INDICATIONS OF BURIAL GROUNDS, CEMETERIES, SOLID WASTE DUMPS, SUMPS, SANITARY LANDFILLS, OR WETLANDS WERE OBSERVED DURING THE COURSE OF THIS SURVEY. NEITHER HOUSTON ENGINEERING, PLLC NOR DOES THE SURVEYOR OF RECORD EXPRESS ANY EXPERTISE IN THE RECOGNITION OF BURIAL GROUNDS, CEMETERIES, SOLID WASTE DUMPS, SUMPS, SANITARY LANDFILLS, OR WETLANDS.

- BOUNDARY/TITLE/EASEMENT/AREA INFORMATION SHOWN ON THIS TOPOGRAPHICAL SURVEY WAS PROVIDED BY THE CLIENT. HOUSTON ENGINEERING, PLLC IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OF SAID INFORMATION.
- BEARINGS ARE RELATIVE TO NAD83 MISSISSIPPI STATE PLANE COORDINATE SYSTEM (WEST ZONE). COORDINATES SHOWN HEREON ARE GRID COORDINATES EXPRESSED IN U.S. FOOT.
- AREA OF PROPERTY SURVEYED: **257,875** S.F. OR **5.92** ACRES, MORE OR LESS.
- THE ENTIRE AREA (5.92 AC) OF THE PROPERTY IS LOCATED IN ZONE "X", AN AREA OF 0.2% ANNUAL CHANCE FLOOD HAZARD, ACCORDING TO FIRM COMMUNITY PANEL NO. 28033C0091H DATED MAY 5, 2014.
- NO VISIBLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- NO VISIBLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- THE SUBJECT PROPERTY HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO MALONE & CHURCH ROAD.

GENERAL NOTES

- THE LOCATION OF ALL UTILITIES ARE APPROXIMATE.
- UTILITIES:
 - WATER - CITY OF SOUTHAVEN (662-393-7353)
 - SANITARY SEWER - CITY OF SOUTHAVEN (662-393-7353)
 - ELECTRIC POWER - ENTERGY (1-800-368-3749)
 - TELECOM - AT&T (1-888-944-0447)
 - NATURAL GAS - ATMOS ENERGY (1-888-286-6700)

PLEASANT HILL LAND & DEVELOPMENT CO., INC. PROPOSES TO THE CITY OF OLIVE BRANCH:

- THAT ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH CITY ORDINANCES AND INSTALLED UNDERGROUND.
- THAT ALL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH CITY ORDINANCES.

HE HOUSTON ENGINEERING
Engineering, Surveying, and Environmental Services
P.O. Box 3087
Oxford, Mississippi 38655
Phone: (662) 647-1312
www.houstonengr.com

- LOT BUILDING SETBACKS**
50' FRONT YARD
15' SIDE YARD (60' ABUTTING RES.)
60' REAR YARD
20' LANDSCAPING BUFFER
- DRAINAGE & UTILITY EASEMENTS**
20' FROM FRONT & REAR LOT LINES
10' FROM SIDE LOT LINES

OWNER:

PLEASANT HILL LAND & DEVELOPMENT CO., INC.
3606 BRIDGFORTH ROAD
OLIVE BRANCH, MS 38654

LOT 1 - 2.60 ACRES
LOT 3 - 3.12 ACRES
TOTAL - 5.72 ACRES

LEGEND	
FOUND IRON BAR	○
SET 1/2" IRON BAR	⊗
WATER GATE VALVE	⊕
FIRE HYDRANT	⊗
EX. SPOT ELEV.	X 335.5
RECORD MEASUREMENTS	()
PROPERTY LINE	---
CENTER LINE	---
BLDG. SETBACK LINE	---
EDGE OF PAVEMENT	---
RIGHT-OF-WAY	---
EX. WATER MAIN	W
SHARED ACCESS EASEMENT	▨
UTILITY EASEMENT	▩

2 LOTS

SHEET 2 OF 2

FINAL PLAT FOR
AREA 9 OF ROBINSON CROSSING
COMMERCIAL SUBDIVISION
5.72 AC. ± BEING IN THE N/W 1/4 OF SECTION 11,
T-2-S, R-7-W,
DESOTO COUNTY, MS

DRAWN BY: MSK

CHECKED BY: JBH

DATE: 6/4/25

Z:\Shared\Clients\194 Bridgforth\224\002 Robinson Crossing\dwg\Base\ROBINSON CROSSING - TOPO[alternative].dwg

high standards anticipated by the residents of DeSoto County and to assure that all features and amenities of the neighborhood which are considered to be common assets are continuously maintained in a quality manner.

- F. The community will be developed so that it not only preserves and protects, but also in fact enhances surrounding property. Robinson Crossing will reflect sensitivity to adjacent land uses and encourage the highest quality development of the adjacent properties.
- G. It is anticipated that as the common areas of the community are developed, their Final Plans may incorporate water, landscaping, walking trails, and other design features which will contribute to an overall positive aesthetic appearance and provide for passive recreational alternatives for residents within the community.

III. USES PERMITTED

- A. **Areas 1**
Single-Family Detached Dwellings shall be permitted and regulated in the R-12 Single-Family Residential District as modified herein. Minimum area of lots shall be 12,000 square feet.
- B. **Areas ~~1~~, 2 and 3**
Single-Family Detached Dwellings shall be permitted and regulated in the R-20 Single-Family Residential District as modified herein. Minimum area of lots shall be 20,000 square feet.
- C. **Area 4**
Single-Family Detached Dwellings shall be permitted and regulated in the R-8 Single-Family Residential District as modified herein. Minimum area of lots shall be 8,000 square feet.
- D. **Areas 5 and 7**
Single-Family Detached Dwellings shall be permitted and regulated in the R-12 Single-Family Residential District as modified herein. Minimum area of lots shall be 12,000 square feet.

- E. **Area 6**
Single-Family Detached Dwellings shall be permitted and regulated in the R-10 Single-Family Residential District as modified herein. Minimum area of lots shall be 10,000 square feet.
- F. **Area 8**
Retirement oriented housing to include single-family attached, detached zero lot line and townhouse condominium at 10 units per acre as regulated in the R-6 Residential Single-Family District as modified herein. The minimum area of lots for single-family detached dwellings shall be 8,000 square feet.
- G. **Area 8a**
Uses shall be permitted and regulated in the "O" Office District as modified herein.
- H. **Area 9**
Uses shall be permitted and regulated in the "C-4" Planned Commercial District as modified herein. The following uses shall be permitted:
 - Art studio
 - Bakery, retail
 - Bank, financial services, savings and loans
 - Beauty/barber shop
 - Book store
 - Convenience store
 - Car wash as an accessory to convenience store
 - Doctor's office
 - Drug store or pharmacy
 - Dry cleaning pickup station
 - Music/dance studio
 - Office
 - Personal service establishment
 - Photo finishing
 - Photo finishing pickup station
 - Photography studio
 - Print shop not exceeding 2,500 square feet

REVISED
JULY 1, 2005

Restaurants with indoor seating and without drive-in or drive-thru facilities
 Retail shop sales and services
 Public service facility
 Church
 Daycare centers
 Post office or postal facility

- I. All Areas
 Churches and places of worship shall be allowed within all areas of development with direct access to a major road.
- J. Accessory uses and structures shall be permitted in accordance with the applicable provisions of the DeSoto County Zoning Regulations pertaining to the principle use of the property as permitted and provided for in Subsections A through H of this Section III.

IV. BULK REQUIREMENTS

Development of the community will be guided by the Outline Plan, the Preliminary Site Plan, and the area use descriptions provided above. Development of individual parcels must be in compliance with the provisions for dimensional regulations, and access and circulation conditions provided below.

Areas are designated with a Referenced District, referring to zoning districts in the DeSoto County Zoning Regulations. Other restrictions not specifically addressed here or elsewhere in the conditions (and its attachments) include, but are not limited to setbacks, side and rear yard requirements, minimum lot areas, accessory uses, parking and loading shall be as defined in the Zoning Regulations of DeSoto County as applicable to the Referenced District for the particular parcel in question. Where provisions of this agreement are in conflict with the above referenced Regulations, these provisions shall apply.

A. Maximum Densities: Dwelling Units Per Acre (DU/AC) and Floor Area Ratio (FAR) for areas and uses shall be as follows:

AREA	USE	MINIMUM LOT SIZE	ACREAGE	DENSITY	POTENTIAL HOMES
1	Residential	20,000 SF 12,000 SF	5.92	1.50 DU/AC	11 14
2	Residential	20,000 SF	33.36	1.50 DU/AC	48
3	Residential	20,000 SF	54.48	1.50 DU/AC	75
4	Residential	8,000 SF	31.73	1.50 DU/AC	107
5	Residential	12,000 SF	14.05	4.00 DU/AC	34
6	Residential	10,000 SF	10.13	2.75 DU/AC	28
7	Residential	12,000 SF	15.36	3.50 DU/AC	39
8	Retirement Housing	-	22.12	10.00 DU/AC	221
8 Alt.	Residential	6,000 SF	22.12	4.50 DU/AC	
8 Alt.	Office	-		0.25 FAR	
	Subtotal		187.15		563 566
	C.O.S. 1		27.54		
	C.O.S. 2		1.17		
	C.O.S. 3		1.25		
	C.O.S. 4		3.65		
	C.O.S. 5		0.75		
	C.O.S. 6		0.46		
	C.O.S. 7		0.70		
	C.O.S. 8		0.99		
	Subtotal		36.51		
9	Neighborhood Retail		5.72	0.25 FAR	
	Subtotal		5.72		
	Major Road Dedication		2.22		
	GRAND TOTAL		231.60		

REVISED
 JULY 1, 2005

Prepared For: Pleasant Hill Land and Development Company, Inc.
 1607 Main Street
 Southaven, MS 38671

ROBINSON CROSSING
 A PLANNED RESIDENTIAL DEVELOPMENT
 DESOTO COUNTY, MISSISSIPPI

Planning/Landscape Architecture
 DALHOFF THOMAS DAWSON
 6625 Lenox Park Drive • Suite 100
 Memphis, Tennessee 38115
 P-901-766-1600 F-901-766-1606



- C. Signage for Area 8a shall be in conformance with the "O" Office District Regulations.
- D. The minimum sign setback from any public right-of-way shall be 15 feet, excluding directional and traffic signs.
- E. Portable and temporary signs shall not be permitted except temporary construction and realtor signs shall be permitted.

VIII. DRAINAGE FACILITIES AND SERVICES

- A. The stormwater drainage system shall be designed and constructed to the drainage design standards of DeSoto County. As designed, the post development flow shall not exceed the pre-development flow. Other required environmental protection agency (EPA) structures, such as silt fences, hay bale walls, etc. will be used to minimize silt run-off during construction.
- B. A Storm Water Pollution Prevention Plan (SWPP) will be filed with the state authorities prior to commencement of construction.
- C. The drainage plan submitted to the County Engineer must include a written determination from the Mississippi Department of Health and Environment regarding their jurisdiction over watercourses on this site.
- D. All public storm drainage shall require a public easement.
 - 1. The following note shall be placed on the final plat of any development requiring on-site drainage facilities: The areas denoted by "Reserved for Stormwater Retention" shall not be used as a building site or filled without first obtaining written permission from the County Engineer. Stormwater detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the respective property owner. Such maintenance shall be performed so as to insure that the system operates in accordance with the approved plan on file

in the County Engineer's office. Such maintenance shall include, but is not limited to, removal of sedimentation, fallen objects, debris, trash mowing, outlet cleaning and repair of drainage structures.

IX. SANITARY SEWER

- A. A Master Sanitary Sewer Concept Plan shall be submitted at the time Phase One Site Plan is submitted for review and approval. The City of Southaven will provide sanitary sewer service.
- B. The Developer, in accordance with specifications of DeSoto County and the State of Mississippi, shall provide all sewer lines within the development.
- C. Sizes of sanitary sewer lines shall be determined at the time the final construction plans are submitted to the County Engineer.

X. WATER SERVICE

- A. Public water shall be provided by Pleasant Hill Water Association.
- B. All water services shall be constructed in compliance with DeSoto County and the State of Mississippi regulations.

XI. DEVELOPMENT PHASING

- A. It is anticipated that the project will be developed in phases together with a proposed timetable as illustrated on Exhibit J, Preliminary Development Phasing Plan. It is understood that the Preliminary Phasing Plan is subject to change by way of market demands and the general overall economy.

REVISED
JULY 1, 2005

4. Use only for the project shown on the plat. All other uses are prohibited. © 2005 Robinson Crossing, Inc.



<u>Phase</u>	<u>Time Table</u>
1	2004
2	2005
3	2005
4	2006
5	2006
6	2007
7	2007
8	2008

Since much of the funding for public education arises from state allocation on an average daily attendance basis and County Ad Valorem taxes, the expenses related to education should be minimal.

- B. Each phase shall be so planned and so related to existing surrounding and available facilities and services that failure to proceed to the subsequent phases will not have an adverse impact on the development of its surroundings at any stage of the development.
- C. A final site plan/plat for each phase shall be made in accordance with the DeSoto County Zoning Ordinance and Subdivision Regulations. A final plan for each area or portion thereof shall be submitted for review by the DeSoto County Planning Commission in order to establish that it substantially conforms to the conditions of the Outline Plan.

XII. IMPACT ON COMMUNITY FACILITIES

The proposed development will increase demand on schools, roads, police, fire protection, and garbage collection.

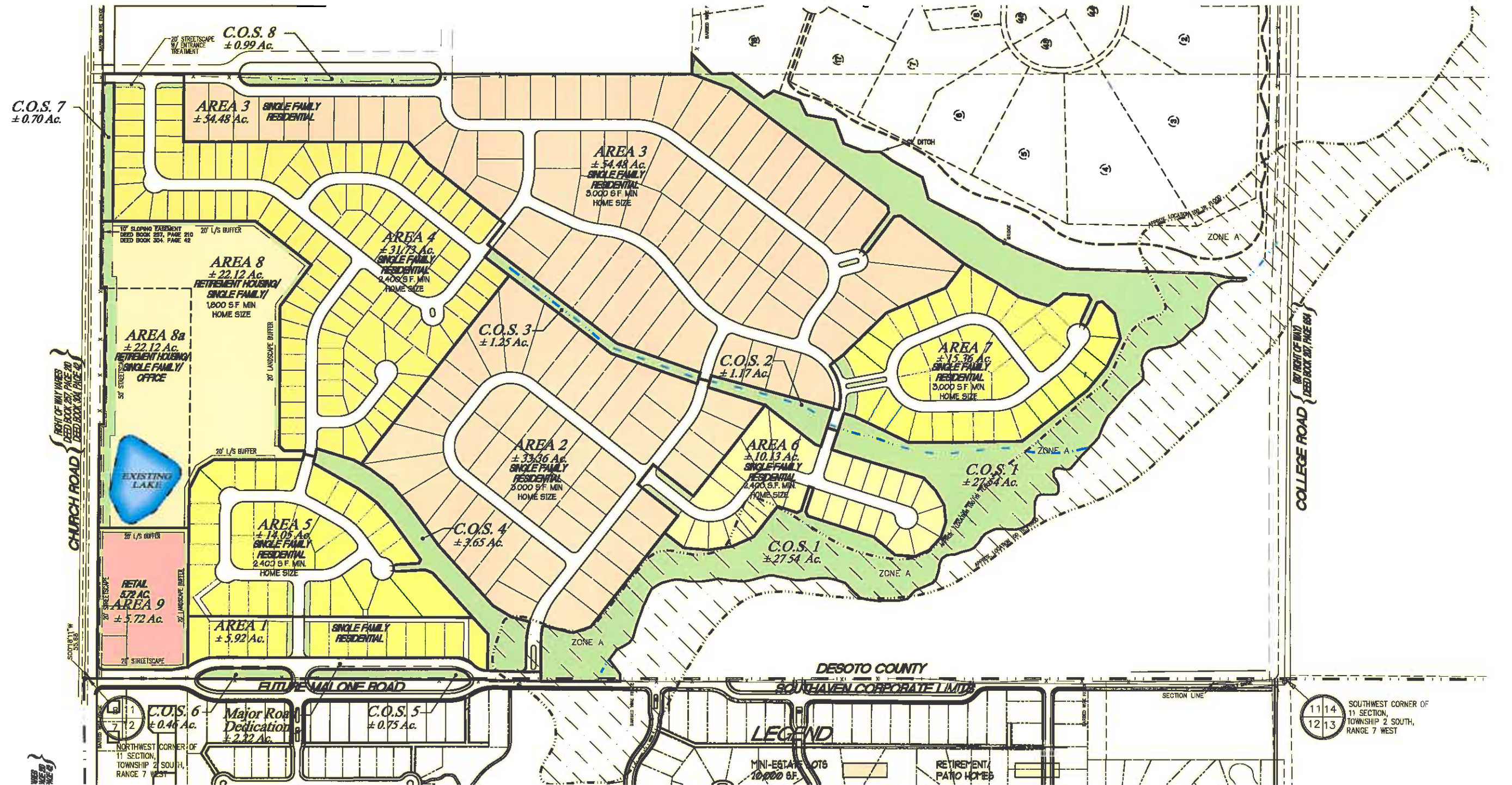
The water system and fire hydrants shall be constructed in compliance with DeSoto County regulations and served by the area Fire Department.

Due to the proximity of the site to existing public facilities, the installation of required infrastructure by the Developer and the increased tax base of the dwellings planned, the public cost of the development to the County should be minimal.

REVISED
JULY 1, 2005

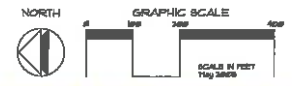
8

LAND USE PLAN EXHIBIT F



1114
1213
SOUTHWEST CORNER OF
11 SECTION,
TOWNSHIP 2 SOUTH,
RANGE 7 WEST

REVISED
JULY 1, 2005



DATA PROVIDED BY PROPERTY OWNER AND TAKEN FROM AVAILABLE COUNTY MAPPING, TAX MAPS, USGS MAPS, AND FEMA MAPPING. THIS INFORMATION IS USED AS A PLANNING TOOL ONLY. THIS DOCUMENT IS THE PROPERTY OF DALHOFF THOMAS DAW'S AND MAY NOT BE REPRODUCED WITHOUT PRIOR CONSENT.

Prepared For:
Pleasant Hill Land and Development Company, Inc.
1607 Main Street
Southaven, MS 38671

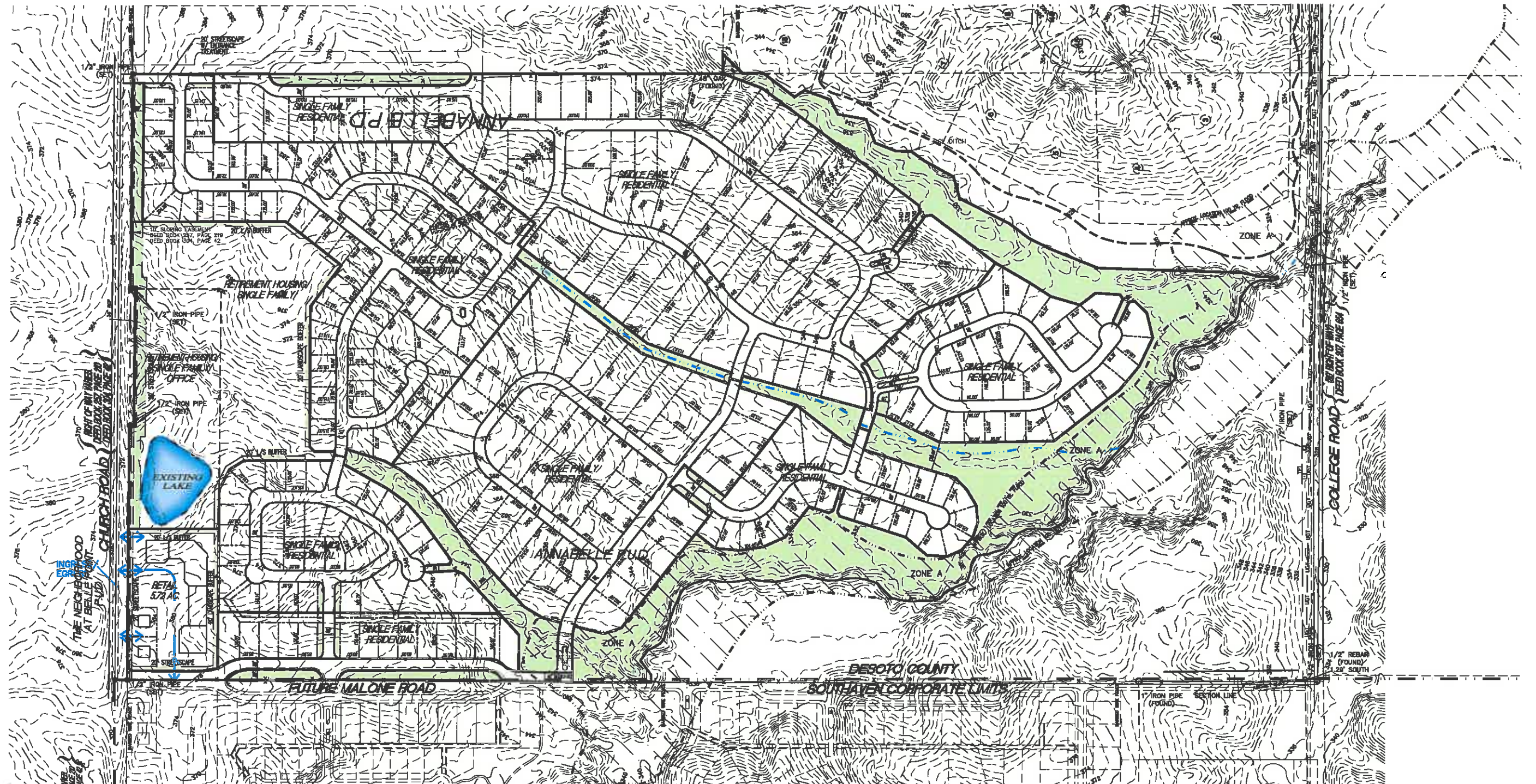
ROBINSON CROSSING

A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI

Planning/Landscape Architecture
DALHOFF THOMAS DAW'S
6625 Lenox Park Drive • Suite 100
Memphis, Tennessee 38115
P-901-766-1600 F-901-766-1606



PRELIMINARY SITE PLAN EXHIBIT G



PLAN DATA

SITE AREA	231.60 AC.
RESIDENTIAL AREA	187.15 AC.
COMMON OPEN SPACE	36.51 AC.
MAJOR ROAD DEDICATION	2.22 AC.
RETAIL USE	5.72 AC.
HOUSES	586
DENSITY	2.44 DU/AC

REVISED
JULY 1, 2005



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Planning/Landscape Architecture

DALHOFF THOMAS DAWS

6625 Lenox Park Drive - Suite 100

Memphis, Tennessee 38115

P-901-766-1600 F-901-766-1606

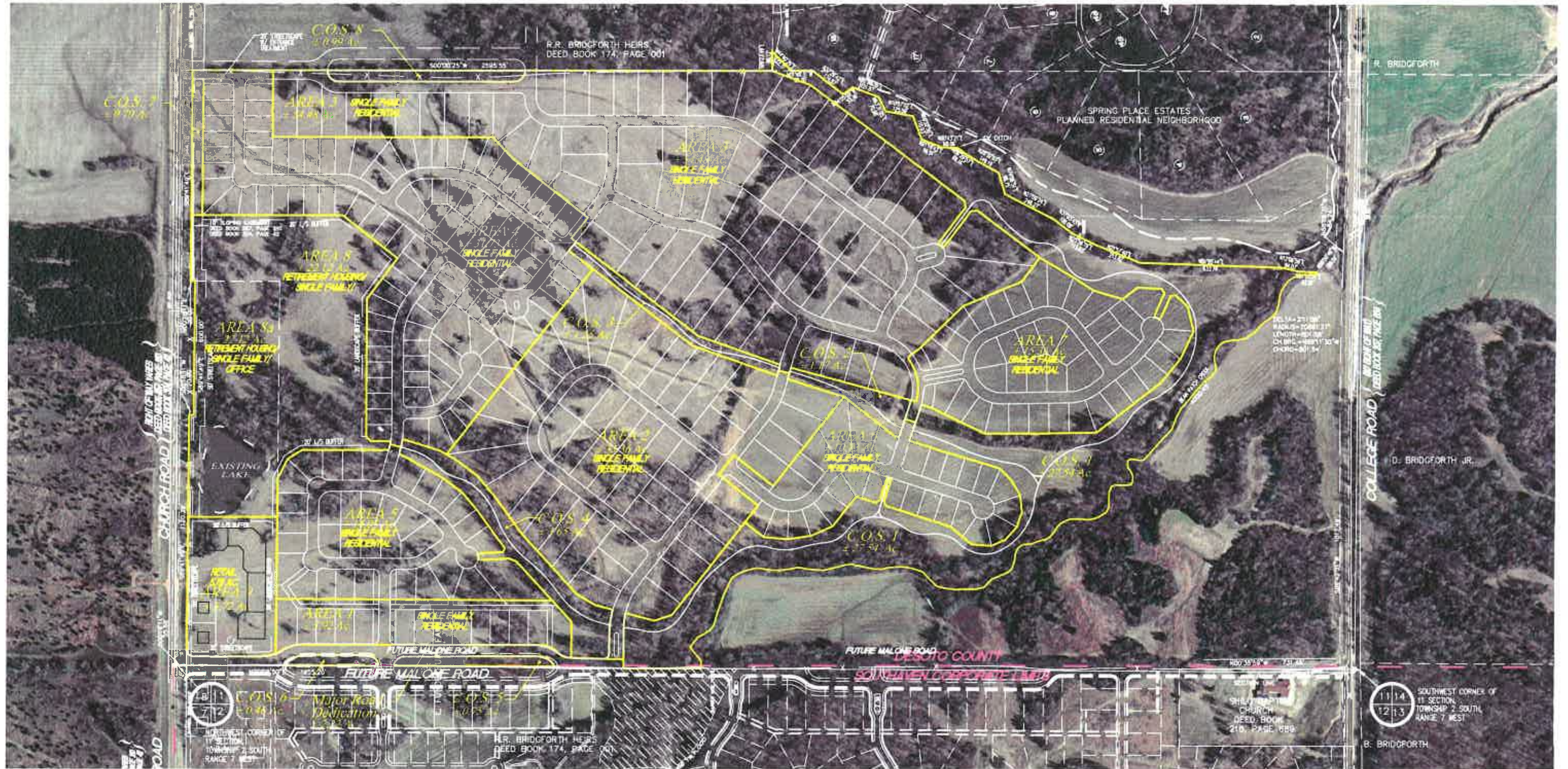


ROBINSON CROSSING

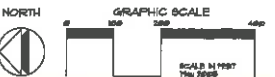
A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI

Prepared For:
Pleasant Hill Land and Development Company, Inc.
1607 Main Street
Southaven, MS 38671

SITE PLAN WITH AERIAL PHOTOGRAPH EXHIBIT H



REVISED
JULY 1, 2005



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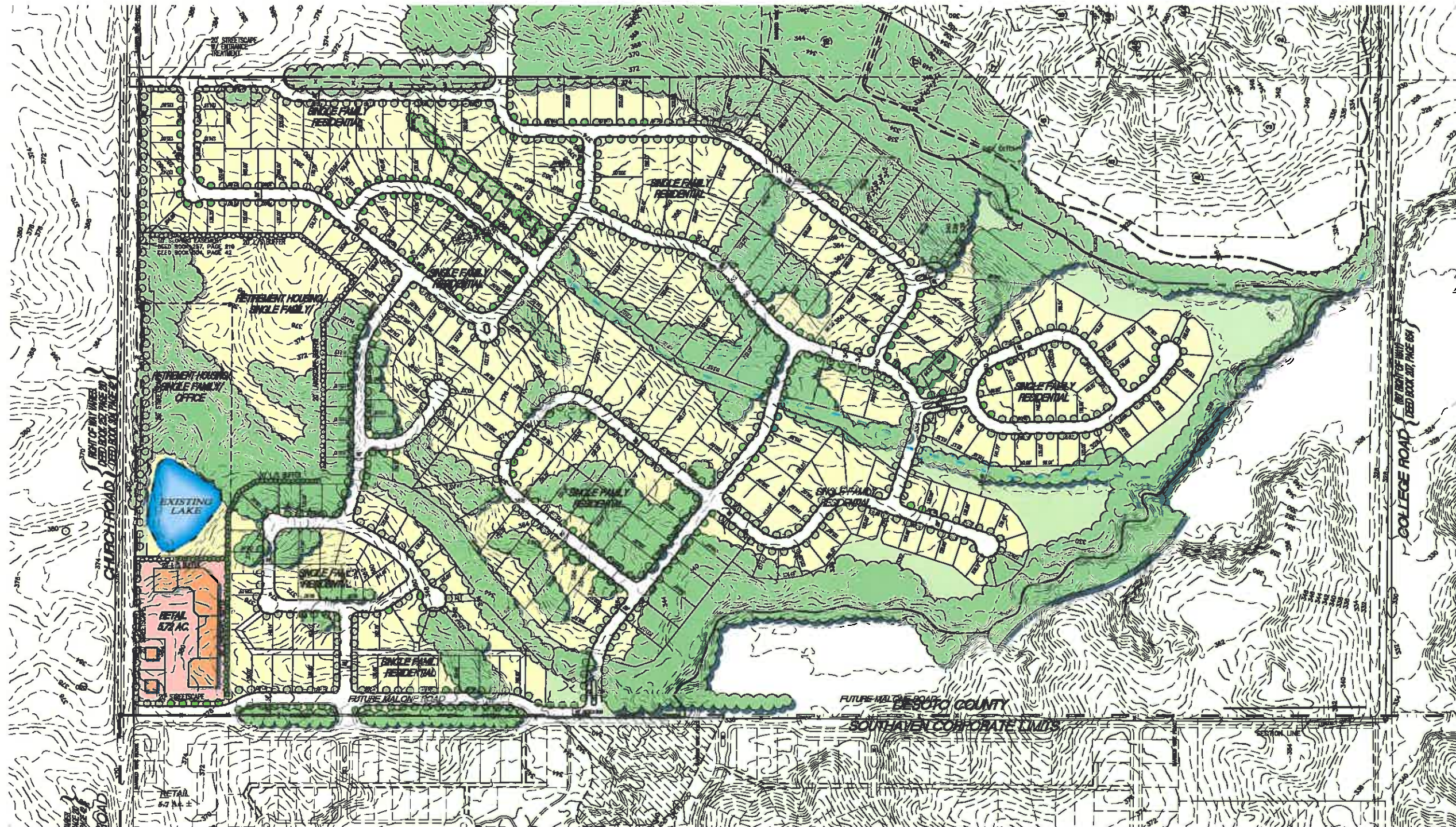


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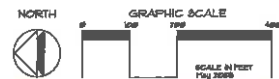
A PLANNED RESIDENTIAL DEVELOPMENT
DESO TO COUNTY, MISSISSIPPI

Prepared For:
Pleasant Hill Land and Development Company, Inc.
1607 Main Street
Southaven, MS 38671

MASTER PLAN ILLUSTRATION EXHIBIT I



REVISED
JULY 1, 2005



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ROBINSON CROSSING

A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI

Prepared For:
Pleasant Hill Land and Development Company, Inc.
1607 Main Street
Southaven, MS 38671

**ORDER TO CARRYOVER THE ANNABELLE PLANNED UNIT
DEVELOPMENT REZONING APPLICATION
CASE #623**

COPY

BE IT ORDERED:

That on this date, Merritt Powell, Director of the DeSoto County Planning Commission, made a presentation to the Board of Supervisor regarding the following matter:

Annabelle Planned Unit Development (623) – Application is to rezone 283 acres from Agricultural-Residential to Planned Unit Development. Subject property is located on the north side of College Road and west of Pleasant Hill Road. Section 11, Township 2, Range 7

Mr. Powell presented the application, and recognized Mr. Bob Dalhoff as being present to represent the application. Mr. Powell then stated he would like to see Malone Road to the creek be dedicated as road right of way if this application is approved (#10 on staff report). Mr. Dalhoff agreed to do so.

Supervisor Meldin asked who would be supplying the sewer service. Mr. Barry Bridgforth responded saying the City of Southaven.

Supervisor Latimer then asked who owns the property to the west. Mr. Dalhoff said Barry Bridgforth. Supervisor Latimer then asked if road right of way would be dedicated along Malone Road. Mr. Bridgforth answered saying, “yes”, the Bridgforths have always given road right of way in the past.

Supervisor Russell then asked why not go ahead now and dedicate that right of way. Mr. Bridgforth responded saying, since he owns the property to the south, he does not think it is fair at this time to ask for the road right of way dedication along Malone Road.

There was then a brief discussion regarding the building of the bridge. Mr. Garriga said as the subdivision is developed they would need to dedicate and construct that bridge. Mr. Bridgforth said it will most likely be a double box culvert, not a bridge.

Supervisor Thach then asked how many outlets there would be? Mr. Dalhoff responded by saying “two”.

Mr. Dalhoff began by giving justification for the rezoning. The county is growing and changing, there is the extension of Church Road, three new schools in the area along with all the new development in the area and interceptor sewer is to be constructed. He then stated the staff report states this a 283 acre tract that is incorrect, it is 231.62 acres. Mr. Dalhoff then displayed the boundary plot plan and stated they want to save as many trees as possible. There is a 58’ grade change along the property, so they are trying to work

with the topography in relation to roads and the houses. He then displayed the site analysis and explained that the lot sizes that are proposed are minimum lot sizes, not exact. There are ponds, ridges, etc. They would also like to have a greenbelt system, the location will depend on the topography. The retirement area could also be used as office and residential homes, if the market at the time of construction states the retirement area would not be good it will be at that time when we come back with a site plan for that area. Mr. Dalhoff then presented an outline plan of the development, which explained the different areas throughout the development in relation to lot sizes and the residential and commercial areas. He further stated, the open space will be approximately 37 acres. Mr. Dalhoff then talked about Malone Road and the large boulevard. They wanted to save the large Oak trees in that area, and thought it would be nice to have that large boulevard, which would help enhance the development. Mr. Dalhoff then presented the Land Use Plan. The 20,000 & 12,000 square foot lots have a minimum home size of 3,000 square feet heated. The 10,000 & 8,000 have a minimum of 2,400 square feet and the retirement area has a minimum of 1,800 square feet. He said they are raising the bar on the size of homes in this area. The Bridgforth family owns a lot of the surrounding property which makes it very personal with them, this project is so personal that this development is named after his granddaughter. Mr. Dalhoff then presented the Preliminary Site Plan and stated this is site sensitive plan. This tract of land is very large, until you try to design roads and house locations. They are trying to work with the topography of the land. Mr. Dalhoff then stated they are requesting that curb and gutter be waived for the R-20 lots. He said most of the lots in the R-20 area are actually larger than the 20,000 square foot lots, there are only about 10% of the lots that are 20,000 square feet. He then talked about the Phasing Plan. This is a large project and will be dictated by the market, he continued giving an illustration on the points of access during the phasing plan and talked about it will all connect at the end of the project. The phasing time could actually be cut in half depending on the market. Mr. Dalhoff then talked about the street cross sections and stated there will be an extra 5' of asphalt for a total of 27' and pointed to the locations for this. He concluded saying, they will work with the county engineer and the Homeowners Association would be set up on the front end.

Supervisor Russell stated he would rather see large homes on small lots than small homes on small lots. Mr. Dalhoff replied saying, "we take our projects personal" we want a nice subdivision. Supervisor Russell then stated he is concerned that he does not see any place of children to play, and would like to see something done about that. Mr. Dalhoff responded saying there are many alternatives in the open space areas, there is also a machine that grinds up the land and puts it back as mulch, and agrees that there needs to be usable space. Supervisor Russell said he would like to see a park and in addition, a walking trail along the ditch. Mr. Bridgforth responded saying, there is plenty of room to build parks of any kind, baseball, soccer, etc. He continued saying there is a walking/bike path along the edge of the streets. Supervisor Russell stated he does not think a child should be on the street.

Supervisor Medlin asked when will the Homeowners Association will take over. Mr. Dalhoff responded saying, it can be done in phases. Supervisor Meldin then asked about

the regulations along Church Road and it eventually being a 7 lane road. Mr. Dalhoff responded saying, there will be a 50' buffer along Church Road. Mr. Powell added there is 106' road right of way with 53' from center.

Mr. Scott Young, Assistant County Engineer asked why they don't take the boulevard all the way to Church Road. Mr. Dalhoff responded saying, due to traffic control. If a full road is built, you cannot get onto the retail area, there will be a boulevard on the other side of the ditch.

Supervisor Russell asked if there would be turning lane. Mr. Dalhoff said "yes", and we will work the county engineer regarding this.

Supervisor Thach asked if there would be any front loaded garages? Mr. Bridgforth said "no" they will be either side or rear loaded.


Supervisor Laitmer then asked if there would access to College Road? Mr. Dalhoff replied saying not at this time, he believes the inter connection streets are safer.

Supervisor Thach then asked if other builders would be allowed to build in this subdivision. Mr. Bridgforth said "yes", they will allow other developers but they must follow the rules and covenants.

Supervisor Thach then made a Motion to carryover this item until the next Board of Supervisors meeting which will be held on March 3, 2004. Supervisor Medlin seconded the Motion.

THE FOLLOWING ACTION WAS TAKEN ON THIS MATTER:

FIRST DISTRICT SUPERVISOR, JESSIE MEDLIN	<u>YES</u>
SECOND DISTRICT SUPERVISOR, EUGENE THACH	<u>YES</u>
THIRD DISTRICT SUPERVISOR, BILL RUSSELL	<u>YES</u>
FOURTH DISTRICT SUPERVISOR, ALLEN LATIMER	<u>YES</u>
FIFTH DISTRICT SUPERVISOR, TOMMY LEWIS	<u>YES</u>


 Eugene Thach, President
 DeSoto County Board of Supervisors

ANNABELLE

**A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI**

STAFF
COPY

OWNER/DEVELOPER:

BRIDGFORTH PROPERTIES
DESOTO COUNTY, MS.

PLANNING/LANDSCAPE ARCHITECTURE:

DALHOFF ■ THOMAS ■ DAWS
5865 RIDGEWAY CENTER PARKWAY
MEMPHIS, TN 38120

November 26, 2003

Mr. Merritt Powell
Director
DeSoto County Planning Commission
365 Loshier Street, Suite 200
Hernando, MS 38632

RE: ANNABELLE PLANNED RESIDENTIAL DEVELOPMENT

Dear Mr. Powell:

We are pleased, on behalf of the Property Owners, to submit this document for the 283.65-acre Annabelle Planned Residential Development. Bridgforth Properties is very excited about this development application and after much analysis of the area, realize the importance of setting standards for quality development. We feel that the Annabelle Community addresses neighborhood quality and should have a positive impact on the future growth and prominence to this area of DeSoto County. We feel strongly that with the creativity and enhanced character of its neighborhood concept and with the commitment to superior design, this will bring the Development to the forefront of excellence in Neighborhood Living in a Master Planned Residential Community that incorporates its own character and "sense of place."

The rezoning of this property is justified by the urban infrastructure improvements being made to the area. These include items such as the improvement and extension of Church Road and the extension of public sanitary sewer to the area. There also has been significant change to the area with the addition of new development east, north, and west of the subject property. Also, three (3) new DeSoto County schools have been added to the area.

The Annabelle Community includes five residential markets that are designed around an overall open space system, with access provided from the internal pedestrian system contiguous with the roadway system circulating throughout the community. The neighborhood is based upon a mix of housing markets and passive recreational activities in which citizens of all ages, interests, and incomes can find choices and fulfill most of their lives within their own neighborhood.

The common areas provide a total of 36.51 acres, or 16.16% of the total site area for the use of neighborhood residents. Also, there are two neighborhood retail areas for service needs to the area.

The internal traffic system for Annabelle consists of two residential street designs with public rights-of-way and includes an alternative roadway section for Malone Road, which provides a median incorporating existing mature trees along a section line. The vehicular and pedestrian circulation system takes advantages of scenic vistas throughout the site.

The Annabelle community has an overall residential density of 2.43 dwelling units per acre. The neighborhood provides for multiple residential markets and support services. A complementary mix of residential markets ranging from 8,000-square foot home sites to home sites that exceed 20,000 square feet in size, along with age-restricted retirement housing for seniors. All of these residential markets together should provide for an overall well-balanced community.

The design character of Annabelle Planned Residential Development will be implemented by Architectural Regulations and Guidelines, which will be utilized by the Developer's Design Review Committee to ensure architectural and aesthetic continuity as growth proceeds will secure the quality and vision of the finished community as a special place to live.

It is expected that the Development improvements could start as soon as the Spring of 2004. It is anticipated that completion of Annabelle will take 4 to 5 years. This timetable would be based on a constantly positive economy and because of this, we cannot give an absolute schedule of development and buildout.

We feel that this development plan for Annabelle Planned Residential Development will be a founding document creating an extraordinary residential neighborhood, a neighborhood in which DeSoto County and the Developer will be proud to have taken part. Again, the Owner/Developer's commitment to this project is sincere in pledging to make the Annabelle Planned Residential Development an integral part of the growth and prominence of the County of DeSoto. The Staff's and Planning Commission's favorable response to this development application will be very much appreciated, and if I can be of any help with regards to this application, please do not hesitate to call.

Sincerely,
DALHOFF THOMAS DAWS


Robert Dalhoff, APA
Principal

ANNABELLE
A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI

PREPARED FOR:
BRIDGFORTH PROPERTIES
DESOTO COUNTY, MS

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TABLE OF CONTENTS

I. GENERAL STATEMENT1

II. DESIGN / DEVELOPMENT VISION1

III. USES PERMITTED.....2

IV. BULK REQUIREMENTS.....3

V. ROADWAYS, ACCESS, PARKING, AND CIRCULATION5

VI. LANDSCAPING, SCREENING, AND OPEN SPACE.....5

VII. SIGNS6

VIII. DRAINAGE FACILITIES AND SERVICES.....6

IX. SANITARY SEWER.....7

X. WATER SERVICE7

XI. DEVELOPMENT PHASING.....7

XII. IMPACT ON COMMUNITY FACILITIES8

EXHIBITS

EXHIBIT A REGIONAL LOCATION MAP

EXHIBIT B LEGAL DESCRIPTION

EXHIBIT C BOUNDARY PLOT PLAN

EXHIBIT D SITE ANALYSIS

EXHIBIT E OUTLINE PLAN

EXHIBIT F LAND USE PLAN

EXHIBIT G PRELIMINARY SITE PLAN

EXHIBIT H SITE PLAN WITH AERIAL PHOTOGRAPH

EXHIBIT I MASTER PLAN ILLUSTRATION

EXHIBIT J PHASING PLAN

EXHIBIT K LANDSCAPE PLATES

EXHIBIT L STREET CROSS-SECTIONS

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A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI

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I. GENERAL STATEMENT

Annabelle, a 231.60-acre tract located in DeSoto County, Mississippi, is planned as a residential community that provides for a complementary mixture of residential markets with supporting neighborhood services. It is the intent of Bridgforth Development Company, hereinafter the "Developer," that the Annabelle Planned Development shall maintain an overall Neighborhood Setting through the protection and preservation of natural features of the subject parcel and the use of unifying architectural guidelines and landscaping criteria governed by the Homeowners Association. From the distinctive entrances into the neighborhood, as well as corresponding open space, the Annabelle Planned Development will establish itself as a unique and carefully planned neighborhood, which will stand apart from other neighborhood developments by having its own "Sense of Place."

The purpose of this General Statement is to set forth the conceptual vision of Annabelle as depicted on the Master Plan Illustration. The actual permitted uses, dimensional regulations, access and circulation, design criteria, etc. for the project shall be governed by the Outline Plan, these Conditions of Approval and the Annabelle Declaration of Covenants, Conditions and Restrictions.

The neighborhood will contain a mixture of residential markets, which not only reflects the demands of the residential market but also exemplifies the needs and desires of the residents of the County, as well as the residential market in general. Without restricting uses, it is anticipated that the various areas will be developed as depicted on the Preliminary Site Plan.

The Outline Plan shall serve as the general land use and transportation plan for the development of the site. It is understood that internal roadways and lot arrangements illustrated may be adjusted somewhat at the time of final design to take advantage of topography, natural resources, and other site considerations such as views. The Preliminary Site Plan shall serve as the conceptual visual plan for the development and a statement of what is the intent of the development prior to the development of final plans.

Because of the size of the project and the necessarily general nature of the preliminary development plan, final plans for each phase will be required. Prior to the development of a given phase, the Developer will submit to the County for approval a final site plan which will illustrate not only the spatial relationship of areas and lots within the phase to be undertaken, but also how those areas and lots relate to adjacent phases, areas and lots. The plan will further provide a statement, which outlines how the new phase contributes to the completion of the "whole" project. It is the intent of this provision to help assure that the neighborhood will develop in such a way that each phase is capable of standing on its own as an example of good development practices.

II. DESIGN / DEVELOPMENT VISION

- A. The overall project shall be developed in a neighborhood-like setting with a strong definition of community through the use of entranceways, streetscape, and an interconnecting pedestrian system, which offers an environment that is people-friendly and provides for an overall "Sense of Place."
- B. Attention to common areas, landscaping, views, relationship of buildings and preservation of the natural environment shall be evident.
- C. Special aesthetic design considerations and reviews shall be given to the development on all parcels by the Design Review Committee as part of the Homeowners Association.
- D. The community will be developed with an interconnecting roadway system, which facilitates development of the site. The roadway system shall provide adequate traffic service levels for occupants of the neighborhood and will become an integral part of the overall transportation system, which serves DeSoto County.
- E. A Declaration of Covenants, Conditions and Restrictions, hereinafter the "Declaration" shall be applicable to all properties within the community. An Owner's Association shall be maintained to assure that developments within the neighborhood are completed to the

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high standards anticipated by the residents of DeSoto County and to assure that all features and amenities of the neighborhood which are considered to be common assets are continuously maintained in a quality manner.

- F. The community will be developed so that it not only preserves and protects, but also in fact enhances surrounding property. Annabelle will reflect sensitivity to adjacent land uses and encourage the highest quality development of the adjacent properties.
- G. It is anticipated that as the common areas of the community are developed, their Final Plans may incorporate water, landscaping, walking trails, and other design features which will contribute to an overall positive aesthetic appearance and provide for passive recreational alternatives for residents within the community.

III. USES PERMITTED

- A. Areas 1, 2, and 3
Single-Family Detached Dwellings shall be permitted and regulated in the R-20 Single-Family Residential District as modified herein. Minimum area of lots shall be 20,000 square feet.
- B. Area 4
Single-Family Detached Dwellings shall be permitted and regulated in the R-8 Single-Family Residential District as modified herein. Minimum area of lots shall be 8,000 square feet.
- C. Areas 5 and 7
Single-Family Detached Dwellings shall be permitted and regulated in the R-12 Single-Family Residential District as modified herein. Minimum area of lots shall be 12,000 square feet.
- D. Area 6
Single-Family Detached Dwellings shall be permitted and regulated in the R-10 Single-Family Residential District as modified herein. Minimum area of lots shall be 10,000 square feet.

- E. Area 8
Retirement oriented housing to include single-family attached, detached zero lot line and townhouse condominium at 10 units per acre as regulated in the R-6 Residential Single-Family District as modified herein. The minimum area of lots for single-family detached dwellings shall be 8,000 square feet.
- F. Area 8a
Uses shall be permitted and regulated in the "O" Office District as modified herein.
- G. Area 9
Uses shall be permitted and regulated in the "C-4" Planned Commercial District as modified herein. The following uses shall be permitted:
Art studio
Bakery, retail
Bank, financial services, savings and loans
Beauty/barber shop
Book store
Convenience store
Car wash as an accessory to convenience store
Doctors office
Drug store or pharmacy
Dry cleaning pickup station
Music/dance studio
Office
Personal service establishment
Photo finishing
Photo finishing pickup station
Photography studio
Print shop not exceeding 2,500 square feet
Restaurants with indoor seating and without drive-in or drive-thru facilities
Retail shop sales and services
Public service facility
Church
Daycare centers
Post office or postal facility

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- H. All Areas
Churches and places of worship shall be allowed within all areas of development.
- I. Accessory uses and structures shall be permitted in accordance with the applicable provisions of the DeSoto County Zoning Regulations pertaining to the principle use of the property as permitted and provided for in Subsections A through H of this Section II.

IV. BULK REQUIREMENTS

Development of the community will be guided by the Outline Plan, the Preliminary Site Plan, and the area use descriptions provided above. Development of individual parcels must be in compliance with the provisions for dimensional regulations, and access and circulation conditions provided below.

Areas are designated with a Referenced District, referring to zoning districts in the DeSoto County Zoning Regulations. Other restrictions not specifically addressed here or elsewhere in the conditions (and its attachments) include, but are not limited to setbacks, side and rear yard requirements, minimum lot areas, accessory uses, parking and loading shall be as defined in the Zoning Regulations of DeSoto County as applicable to the Referenced District for the particular parcel in question. Where provisions of this agreement are in conflict with the above referenced Regulations, these provisions shall apply.

- A. Maximum Densities: Dwelling Units Per Acre (DU/AC) and Floor Area Ratio (FAR) for areas and uses shall be as follows:

AREA	USE	MINIMUM LOT SIZE	ACREAGE	DENSITY	POTENTIAL HOMES
1	Residential	20,000 SF	5.92	1.50 DU/AC	11
2	Residential	20,000 SF	33.36	1.50 DU/AC	48
3	Residential	20,000 SF	54.48	1.50 DU/AC	75
4	Residential	8,000 SF	31.73	1.50 DU/AC	107
5	Residential	12,000 SF	14.05	4.00 DU/AC	34
6	Residential	10,000 SF	10.13	2.75 DU/AC	28
7	Residential	12,000 SF	15.36	3.50 DU/AC	39
8	Retirement Housing	-	22.12	10.00 DU/AC	221
8 Alt.	Residential	6,000 SF	22.12	4.50 DU/AC	
8 Alt.	Office	-		0.25 FAR	
	Subtotal		187.15		563
	C.O.S. 1		27.54		
	C.O.S. 2		1.17		
	C.O.S. 3		1.25		
	C.O.S. 4		3.65		
	C.O.S. 5		0.75		
	C.O.S. 6		0.46		
	C.O.S. 7		0.70		
	C.O.S. 8		0.99		
	Subtotal		36.51		
9	Neighborhood Retail		5.72	0.25 FAR	
	Subtotal		5.72		
	Major Road Dedication		2.22		
	GRAND TOTAL		231.60		

THE VILLAGE AT SHELBY STATION

A PLANNED RESIDENTIAL DEVELOPMENT
COLLIERVILLE, TENNESSEE

PREPARED FOR:
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Right-of-way Dedication for Major Arterial Roads: Church Road, Malone Road,	2.22 AC
Total Development Area	231.60 AC
Retail Area	5.72 AC
Net Neighborhood Acreage	225.88 AC
Neighborhood Open Space (C.O.S. 1-8)	36.51 AC/16.16%
Overall Density	2.43 DU/AC

The land use density is based on gross residential and open space acreage. The total development density is 2.43 dwelling units per acre. The actual acreage of development areas may vary slightly subject to final design and final engineering.

B. Maximum Building Setback for Residential Uses:

1. <i>Areas 1, 2, and 3</i>	
Single-Family Detached Uses	
Minimum Front Yard Setback	40 feet
Minimum Side Yard Setback	15 feet
Minimum Rear Yard Setback	25 feet
2. <i>Area 4</i>	
Single-Family Detached Uses	
Minimum Front Yard Setback	25 feet
Minimum Side Yard Setback	5 feet
Minimum Rear Yard Setback	20 feet
3. <i>Areas 5 and 7</i>	
Single-Family Detached Uses	
Minimum Front Yard Setback	25 feet
Minimum Side Yard Setback	5 feet
Minimum Rear Yard Setback	20 feet
4. <i>Area 6</i>	
Single-Family Detached Uses	
Minimum Front Yard Setback	25 feet
Minimum Side Yard Setback	5 feet
Minimum Rear Yard Setback	20 feet

5. <i>Area 8</i>	
Retirement Housing to include: Single-Family Attached, Single-Family Detached, Townhouse/Condominium	
Minimum Front Yard Setback	20 feet
Minimum Side Yard Setback:	
Single-Family Detached	5 feet
Single-Family Attached	
Zero yard and opposite common wall	10 feet
Townhouse	10 feet
Minimum Rear Yard Setback:	
Single-Family Attached/Detached	20 feet
Townhouse	20 feet

C. Minimum Building Setback for Non-Residential Uses

1. <i>Area 9</i>	
Commercial Uses	
Minimum Front Yard Setback	50 feet
Minimum Side Yard Setback	
	60 feet abutting a Residential District
	25 feet abutting a Commercial District
Interior Side Yard	15 feet within interior
Minimum Rear Yard Setback:	
Interior, within site	15 feet
Abutting residential	60 feet
Retail Centers constructed as a contiguous building can be developed without the provision for any building side and rear yard setbacks and planting screen between non-residential uses.	
2. <i>Area 8a</i>	
Office Uses	
Minimum Front Yard Setback	50 feet
Setback Adjacent to Retail	30 feet
Setback Adjacent to Residential	40 feet

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- D. Maximum heights shall be as follows:
- | | |
|-------------------------|---------|
| 1. Residential Uses | 35 feet |
| 2. Commercial Uses | 40 feet |
| 3. Area 8a - Office Use | 33 feet |

- E. Design standards for single-family detached residences:
1. The minimum heated square footage of a 1 or 2-story house will be 3,000 square feet within the R-20 and R-12 Districts. These areas are exclusive of open porches, garages, and basements.
 2. The minimum heated square footage of a 1 or 2-story house will be 2,400 square feet within the R-10 and R-8 Districts. These areas are exclusive of open porches, garages, and basements.
 3. For Area 8 (if developed as Single-Family Development) The minimum heated square footage will be 1,800 square feet. These areas are exclusive of open porches, garages, and basements.
 4. Two-car garages shall be included in the construction of all single-family detached residences. All homes shall be constructed as 2/3 brick or masonry finish.

V. ROADWAYS, ACCESS, PARKING, AND CIRCULATION

- A. Church Road shall be dedicated 53 feet from the centerline in accordance with the DeSoto County Subdivision Design Standards at the time final plans of contiguous developments are approved.
- B. Malone Road shall be dedicated 40 feet from the centerline. Where existing trees are to be retained, Malone Road shall be dedicated 97 feet from the centerline with the first 50 feet to be included as a median to retain existing trees. For typical roadway section incorporating median, see Plate 3.

- C. All internal public streets shall be dedicated and improved in accordance with the DeSoto County Subdivision Design Standards, as modified herein.
- D. Roadways within Areas 1, 2, and 3 and the major arterial roads shall be constructed without curb and gutter improvements. For typical roadway section, see Plate 2.
- E. Parking and loading spaces shall be in accordance with the Zoning Regulations requirements.
- F. All dedicated public improvements required herein shall be made to the specifications of DeSoto County.

VI. LANDSCAPING, SCREENING, AND OPEN SPACE

- A. All common open space areas are to be preserved and maintained by a Property Owner's Association. At the time the final plan is submitted, the articles of incorporation and by laws of the Property Owner's Association shall be submitted to staff for review.
- B. Open space/common areas within Annabelle include approximately 36.51 acres of common open space. This totals 16.16% of the gross residential portion of the project area.
- C. To enhance the aesthetics of public views within neighborhood retail and office areas, the streetscapes along Church Road, and Malone Road shall consist of a streetscape planting area at least 20 feet in width (See Plate 1.) measured from the street right-of-way or property line.
- D. Streetscape area along Church Road shall be a minimum of 50 feet in width as indicated on the Outline Plan. (See Plate 3.)
- E. Landscaping internal to the parking lots for non-residential uses shall provide one shade tree per twenty parking spaces.

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- F. A minimum 20-foot planting screen, Plate 2, shall be provided between any non-residential use and residential use and between any townhouse and retirement housing and single-family detached dwelling.
- G. To further enhance the neighborhood-like setting of the development, a premium will be placed on the preservation of the natural tree cover and other unique characteristics of the landscape. This is deemed necessary in order to maintain a sense of natural amenity and to preserve the intrinsic environmental values and continuity of mature, native tree cover as a wildlife habitat and as a protection against erosion and contamination by runoff on the site. Particular attention shall also be given to grade changes and other work adjacent to the trees designated to be preserved. Existing grades, drainage, and aeration shall be maintained around the trees to remain during site preparation and construction. Trees designated to remain shall be protected with a temporary barrier so trees to be saved are not inadvertently removed, damaged or destroyed during site preparation and/or construction.
- H. Medians, streetscape areas, and neighborhood greens shall be maintained by the Property Owners Association.
- I. All required landscaping should not conflict with utility easements.
- J. Refuse containers and loading areas shall be reasonably screened from view of adjacent public roadways and residential properties.
- K. All electrical installations excluding 3 phase or higher shall be underground.
- L. All construction improvements within the development shall be in compliance with erosion and sediment control guidelines and ordinances of DeSoto County and the State of Mississippi.
- M. The Planning Commission and the Board of Supervisors may make minor modifications at the request of the Developer to the bulk, access, parking and circulation, signage, lighting, landscaping and other site design requirements if equivalent alternatives are provided;

however, the Planning Commission shall not increase the intensity or modify uses permitted on the property without the approval by the DeSoto County Board of Supervisors.

VII. SIGNS

- A. Signage for residential areas shall be in conformance with the R-Residential District regulations of the DeSoto County Zoning Regulations.
- B. Signage for Area 9 shall be in conformance with the C-1 Neighborhood Commercial District Regulations.
- C. Signage for Area 8a shall be in conformance with the "O" Office District Regulations.
- D. The minimum sign setback from any public right-of-way shall be 15 feet, excluding directional and traffic signs.
- E. Portable and temporary signs shall not be permitted except temporary construction and realtor signs shall be permitted.

VIII. DRAINAGE FACILITIES AND SERVICES

- A. The stormwater drainage system shall be designed and constructed to the drainage design standards of DeSoto County. As designed, the post development flow shall not exceed the pre-development flow. Other required environmental protection agency (EPA) structures, such as silt fences, hay bale walls, etc. will be used to minimize silt run-off during construction.
- B. A Storm Water Pollution Prevention Plan (SWPP) will be filed with the state authorities prior to commencement of construction.

ANNABELLE

A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI

PREPARED FOR:
BRIDGFORTH PROPERTIES
DESOTO COUNTY, MS

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PLANNING / LANDSCAPE ARCHITECTURE
4616 HIGHWAY CENTER PARKWAY SUITE 204 MEMPHIS, TN 38117 PHONE 901.744.1800 FAX 901.744.1808

- C. The drainage plan submitted to the County Engineer must include a written determination from the Mississippi Department of Health and Environment regarding their jurisdiction over watercourses on this site.
- D. All public storm drainage shall require a public easement.
 - 1. The following note shall be placed on the final plat of any development requiring on-site drainage facilities: The areas denoted by "Reserved for Stormwater Retention" shall not be used as a building site or filled without first obtaining written permission from the County Engineer. Stormwater detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the respective property owner. Such maintenance shall be performed so as to insure that the system operates in accordance with the approved plan on file in the County Engineer's office. Such maintenance shall include, but is not limited to, removal of sedimentation, fallen objects, debris, trash mowing, outlet cleaning and repair of drainage structures.

IX. SANITARY SEWER

- A. A Master Sanitary Sewer Concept Plan shall be submitted at the time Phase One Site Plan is submitted for review and approval. The City of Southaven will provide sanitary sewer service.
- B. The Developer, in accordance with specifications of DeSoto County and the State of Mississippi, shall provide all sewer lines within the development.
- C. Sizes of sanitary sewer lines shall be determined at the time the final construction plans are submitted to the County Engineer.

X. WATER SERVICE

- A. Public water shall be provided by Pleasant Hill Water Association.
- B. All water services shall be constructed in compliance with DeSoto County and the State of Mississippi regulations.

XI. DEVELOPMENT PHASING

- A. It is anticipated that the project will be developed in phases together with a proposed timetable as illustrated on Exhibit J, Preliminary Development Phasing Plan. It is understood that the Preliminary Phasing Plan is subject to change by way of market demands and the general overall economy.

Phase	Time Table
1	2004
2	2005
3	2005
4	2006
5	2006
6	2007
7	2007
8	2008

- B. Each phase shall be so planned and so related to existing surrounding and available facilities and services that failure to proceed to the subsequent phases will not have an adverse impact on the development of its surroundings at any stage of the development.
- C. A final site plan/plat for each phase shall be made in accordance with the DeSoto County Zoning Ordinance and Subdivision Regulations. A final plan for each area or portion thereof shall be submitted for review by the DeSoto County Planning Commission in order to establish that it substantially conforms to the conditions of the Outline Plan.

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 DESOTO COUNTY, MISSISSIPPI

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 6485 BIRCHWAY CENTER PARKWAY SUITE 100, MEMPHIS, TN 38120 PHONE 901.744.1800 FAX 901.744.1808

XII. IMPACT ON COMMUNITY FACILITIES

The proposed development will increase demand on schools, roads, police, fire protection, and garbage collection.

The water system and fire hydrants shall be constructed in compliance with DeSoto County regulations and served by the area Fire Department.

Due to the proximity of the site to existing public facilities, the installation of required infrastructure by the Developer and the increased tax base of the dwellings planned, the public cost of the development to the County should be minimal.

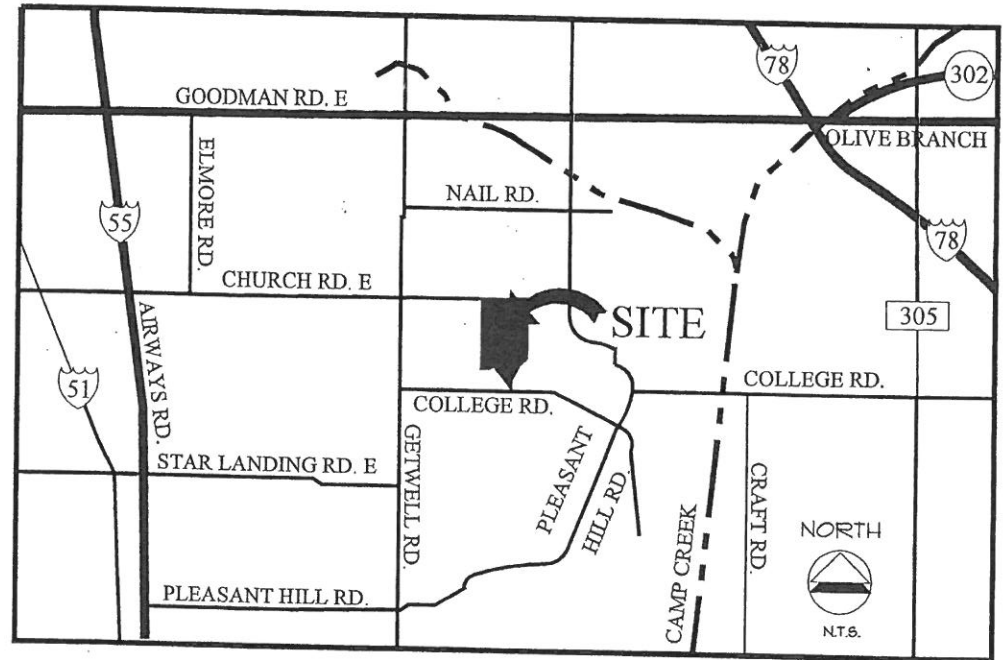
Since much of the funding for public education arises from state allocation on an average daily attendance basis and County Ad Valorem taxes, the expenses related to education should be minimal.

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4345 HIGHWAY CENTER PARKWAY SUITE 104 MEMPHIS TN 38102 PHONE 901/661-8000 FAX 901/661-8001

REGIONAL LOCATION MAP EXHIBIT A



ANNABELLE

A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI

PREPARED FOR:
BRIDGFORTH PROPERTIES
DESOTO COUNTY, MS

DATE: NOV. 2005
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LEGAL DESCRIPTION EXHIBIT B

A 231.60, MORE OR LESS, ACRE TRACT OF LAND BEING LOCATED IN THE WEST HALF AND THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 2 SOUTH, RANGE 7 WEST, DESOTO COUNTY, MISSISSIPPI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 11, TOWNSHIP 2 SOUTH, RANGE 7 WEST; THENCE SOUTH 00 DEGREES 08 MINUTES 50 SECONDS WEST, 53.00 FEET TO A 1/2" IRON PIPE (SET) IN THE SOUTH RIGHT OF WAY LINE OF CHURCH ROAD (RIGHT OF WAY VARIES), SAID IRON PIPE BEING THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND; THENCE, ALONG SAID RIGHT OF WAY LINE THE FOLLOWING CALLS, 89 DEGREES 41 MINUTES 49 SECONDS EAST, 1120.29 FEET TO A 1/2" IRON PIPE (SET); THENCE SOUTH 00 DEGREES 18 MINUTES 11 SECONDS WEST, 20.00 FEET TO A 1/2" IRON PIPE (SET); THENCE SOUTH 89 DEGREES 41 MINUTES 49 SECONDS EAST, 600.00 FEET TO A 1/2" IRON PIPE (SET); THENCE NORTH 00 DEGREES 18 MINUTES 11 SECONDS EAST, 20.00 FEET TO A 1/2" IRON PIPE (SET); THENCE SOUTH 89 DEGREES 41 MINUTES 49 SECONDS EAST, 944.18 FEET TO A 1/2" IRON PIPE (SET); THENCE, DEPARTING SAID RIGHT OF WAY LINE SOUTH 00 DEGREES 00 MINUTES 25 SECONDS WEST, 2595.55 FEET TO A 48" OAK TREE (FOUND); THENCE SOUTH 89 DEGREES 23 MINUTES 49 SECONDS EAST, 86.12 FEET TO A POINT IN A DITCH; THENCE ALONG SAID DITCH THE FOLLOWING CALLS, SOUTH 44 DEGREES 40 MINUTES 26 SECONDS WEST, 122.31 FEET TO A POINT; THENCE SOUTH 01 DEGREES 40 MINUTES 31 SECONDS EAST, 90.20 FEET TO A POINT; THENCE SOUTH 37 DEGREES 29 MINUTES 42 SECONDS WEST, 174.97 FEET TO A POINT; THENCE SOUTH 34 DEGREES 05 MINUTES 02 SECONDS EAST, 53.16 FEET TO A POINT; THENCE SOUTH 20 DEGREES 28 MINUTES 30 SECONDS WEST, 121.87 FEET TO A POINT; THENCE SOUTH 63 DEGREES 31 MINUTES 05 SECONDS WEST, 70.98 FEET TO A POINT; THENCE SOUTH 10 DEGREES 07 MINUTES 02 SECONDS WEST, 125.59 FEET TO A POINT; THENCE SOUTH 69 DEGREES 32 MINUTES 50 SECONDS WEST, 110.93 FEET TO A POINT; THENCE SOUTH 21 DEGREES 18 MINUTES 43 SECONDS WEST, 99.91 FEET TO A POINT; THENCE SOUTH 00 DEGREES 43 MINUTES 21 SECONDS WEST, 68.06 FEET TO A POINT; THENCE SOUTH 36 DEGREES 29 MINUTES 57 SECONDS WEST, 69.16 FEET TO A POINT; THENCE SOUTH 28 DEGREES 32 MINUTES 03 SECONDS WEST, 149.19 FEET TO A POINT; THENCE SOUTH 74 DEGREES 06 MINUTES 51 SECONDS, 98.75 FEET TO A POINT; THENCE SOUTH 27 DEGREES 09 MINUTES 24 SECONDS WEST, 246.27 FEET TO A POINT; THENCE SOUTH 37 DEGREES 03 MINUTES 43 SECONDS WEST, 108.09 FEET TO A POINT; THENCE SOUTH 25 DEGREES 56 MINUTES 19 SECONDS WEST, 113.63 FEET TO A POINT; THENCE SOUTH 21 DEGREES 57 MINUTES 40 SECONDS WEST, 213.82 FEET TO A POINT; THENCE SOUTH 01 DEGREES 55 MINUTES 44 SECONDS WEST, 633.74 FEET TO A POINT; THENCE SOUTH 12 DEGREES 06 MINUTES 56 SECONDS WEST, 84.07 FEET TO A POINT; THENCE SOUTH 01 DEGREES 53 MINUTES 57 SECONDS WEST, 82.81 FEET TO A POINT; THENCE NORTHWESTWARDLY ALONG THE CENTERLINE OF BEAN PATCH CREEK 4000.45 FEET TO A POINT, SAID POINT BEING IN THE CENTERLINE OF BEANPATCH CREEK; THENCE NORTH 00 DEGREES 08 MINUTES 50 SECONDS EAST, 1955.20 FEET TO THE POINT OF BEGINNING, CONTAINING 231.60 ACRES, MORE OR LESS, ACRES OF LAND AND BEING SUBJECT TO ALL CODES, COVENANTS, RESTRICTIONS, REGULATIONS, REVISIONS, EASEMENTS, AND RIGHTS OF WAY OF RECORD.

ANNABELLE
A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI

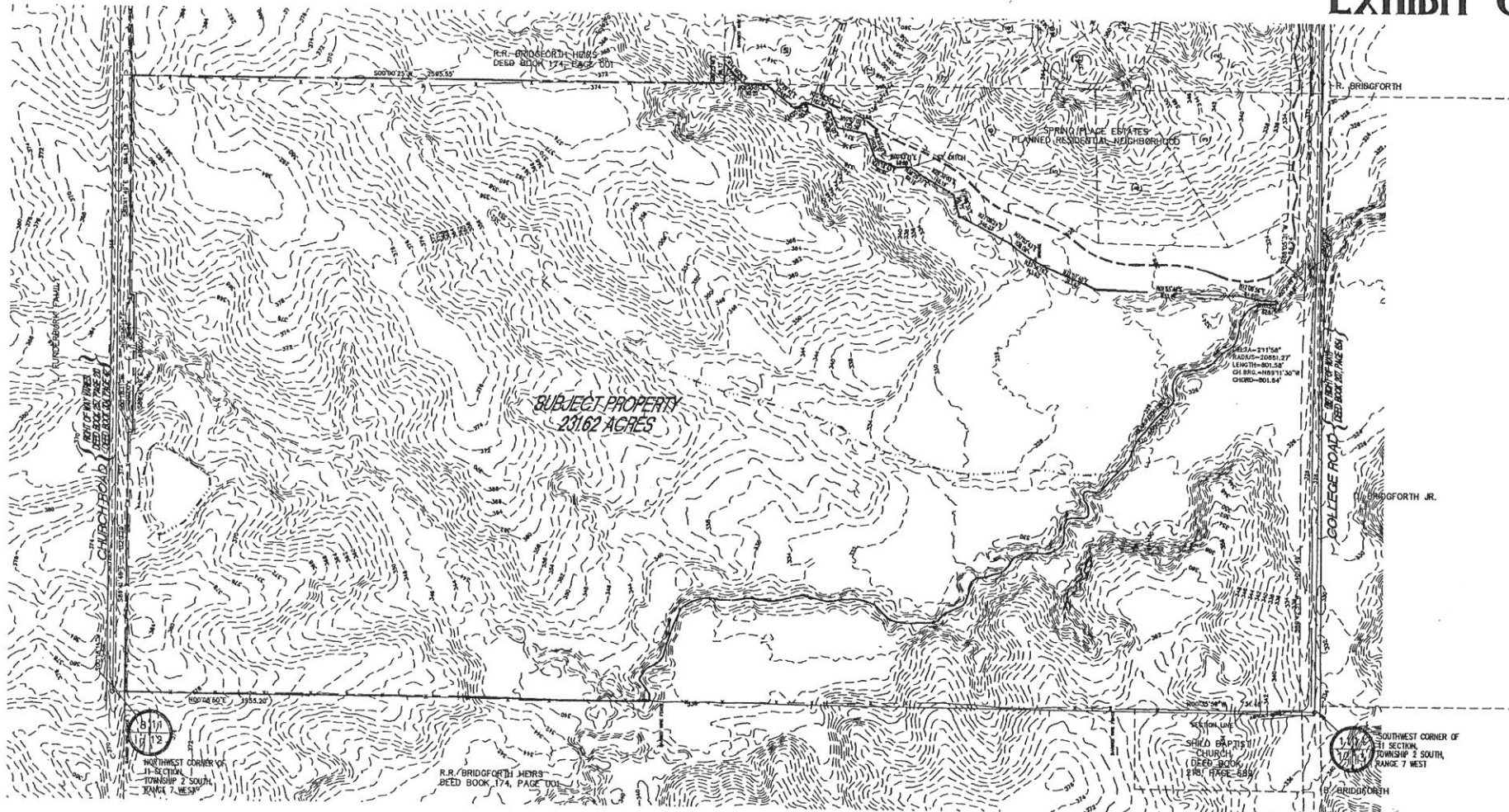
PREPARED FOR:
BRIDGFORTH PROPERTIES
DESOTO COUNTY, MS

SES SMITH
ENGINEERING
FIRM, INC.
881 BASCO ROAD
SOUTHGATE, MISSISSIPPI 38671 (601) 383 - 3348
FAX (601) 383 - 0214

DATE NOV 2009
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PLANNING / LANDSCAPE ARCHITECTURE
4444 HODGWAY CENTER PARKWAY SUITE 104, MEMPHIS, TN 38120 PHONE 901.248.8000 FAX 901.248.8100

BOUNDARY PLOT PLAN EXHIBIT C



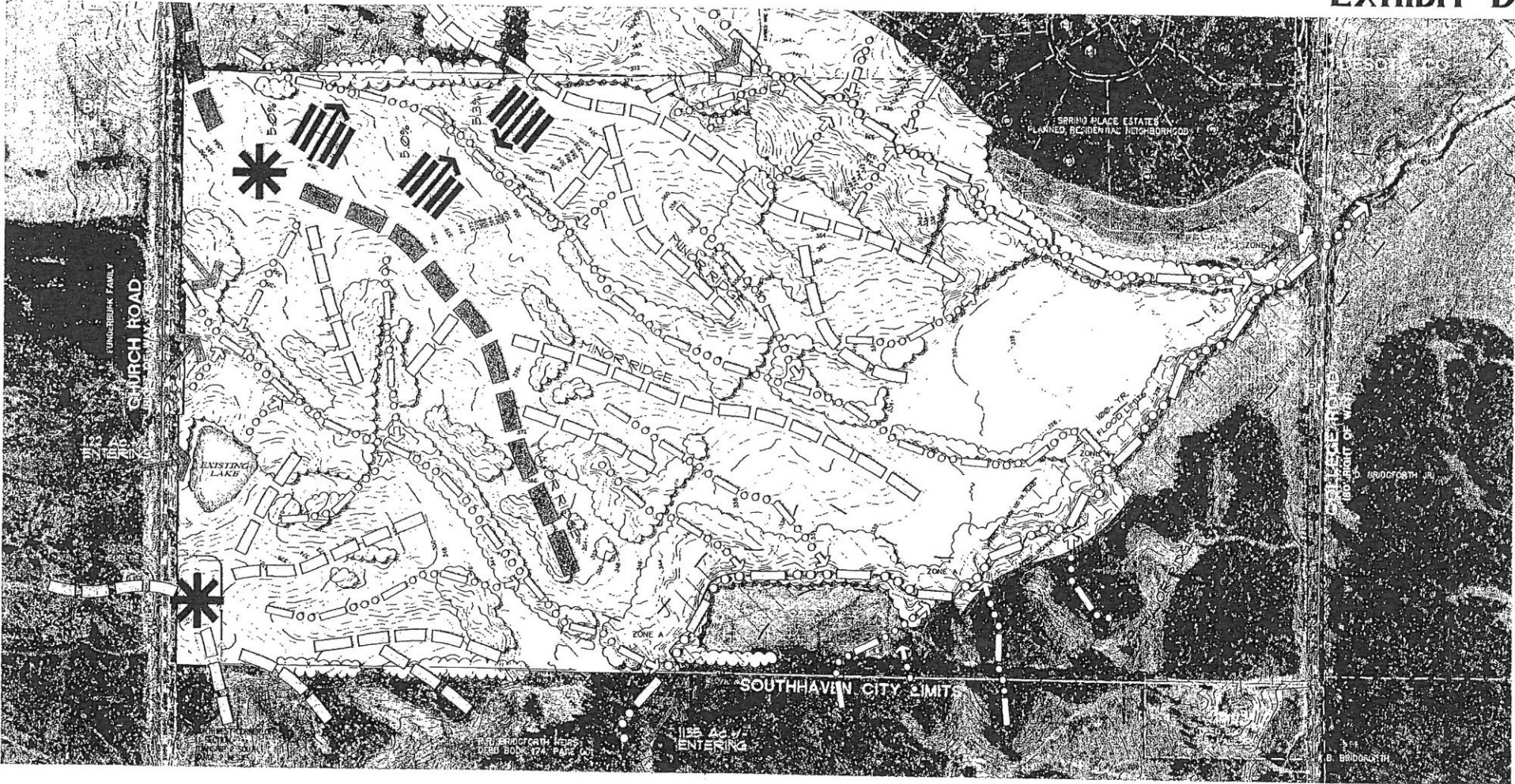
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6846 BODENWAY CENTER PARKWAY SUITE 100, MEMPHIS, TN 38110 PHONE 9017681800 FAX 9017681600

SITE ANALYSIS EXHIBIT D

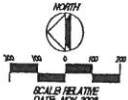


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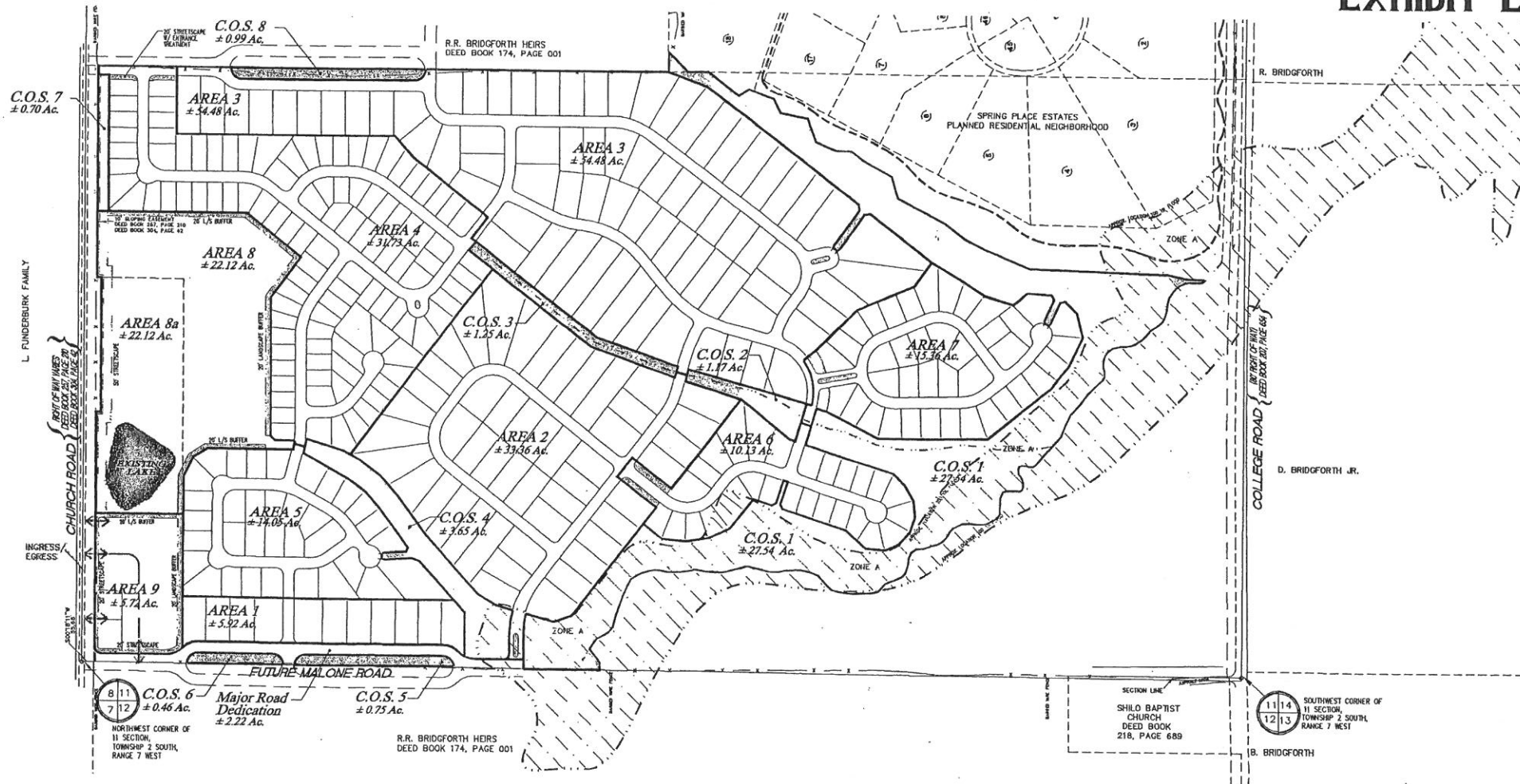
- LEGEND**
- HIGH POINT
 - MAJOR RIDGELINE
 - MINOR RIDGELINE
 - SLOPES
 - MINOR FLOWLINE
 - MAJOR FLOWLINE



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OUTLINE PLAN EXHIBIT E

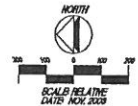


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DESOTO COUNTY, MISSISSIPPI

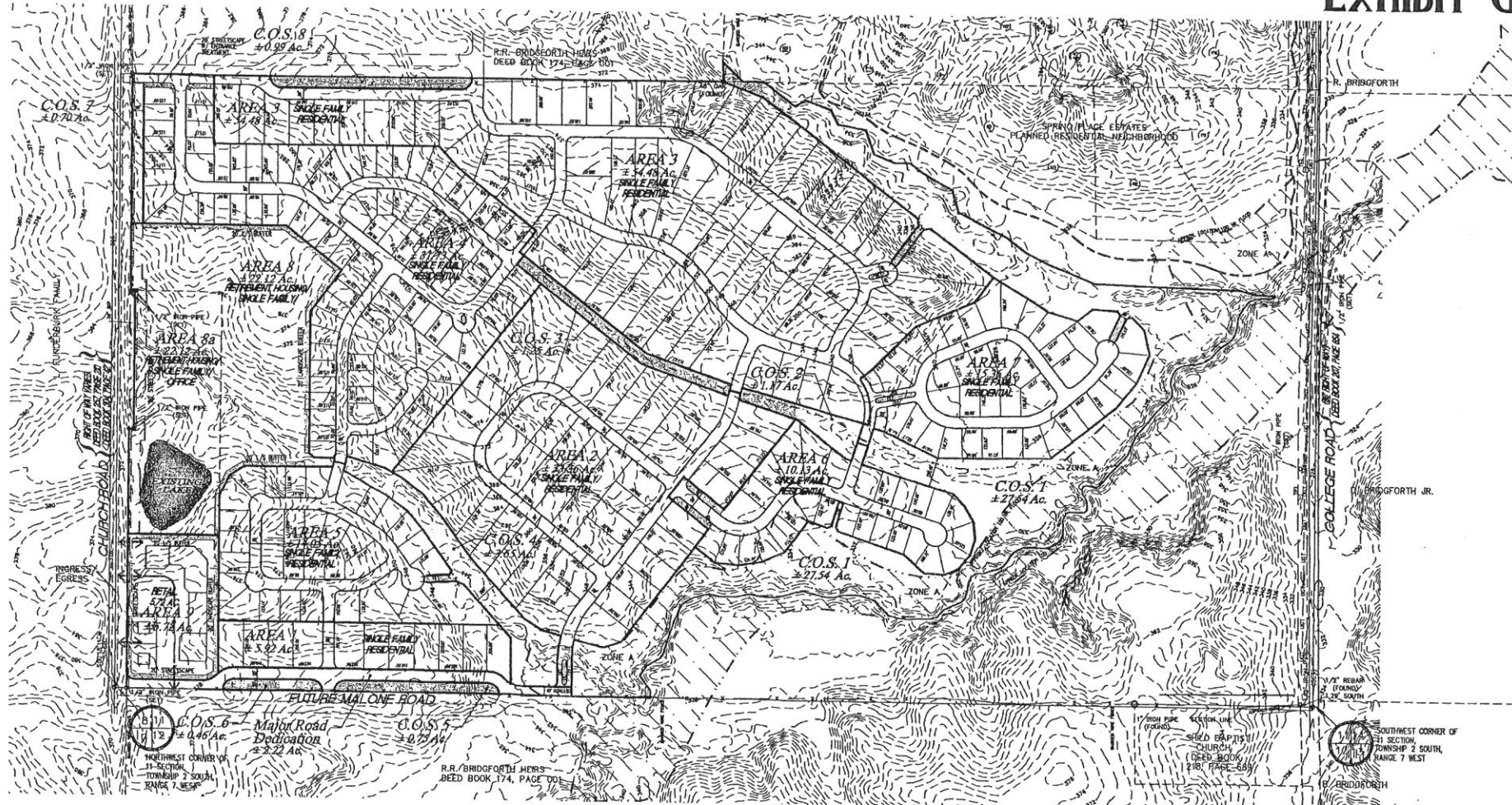
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6446 MIDWAY CENTER PARKWAY SUITE 104, MEMPHIS, TN 38120 PHONE 901.768.1900 FAX 901.768.1901

PRELIMINARY SITE PLAN EXHIBIT G



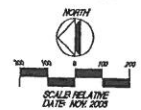
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DESOTO COUNTY, MISSISSIPPI

PLAN DATA

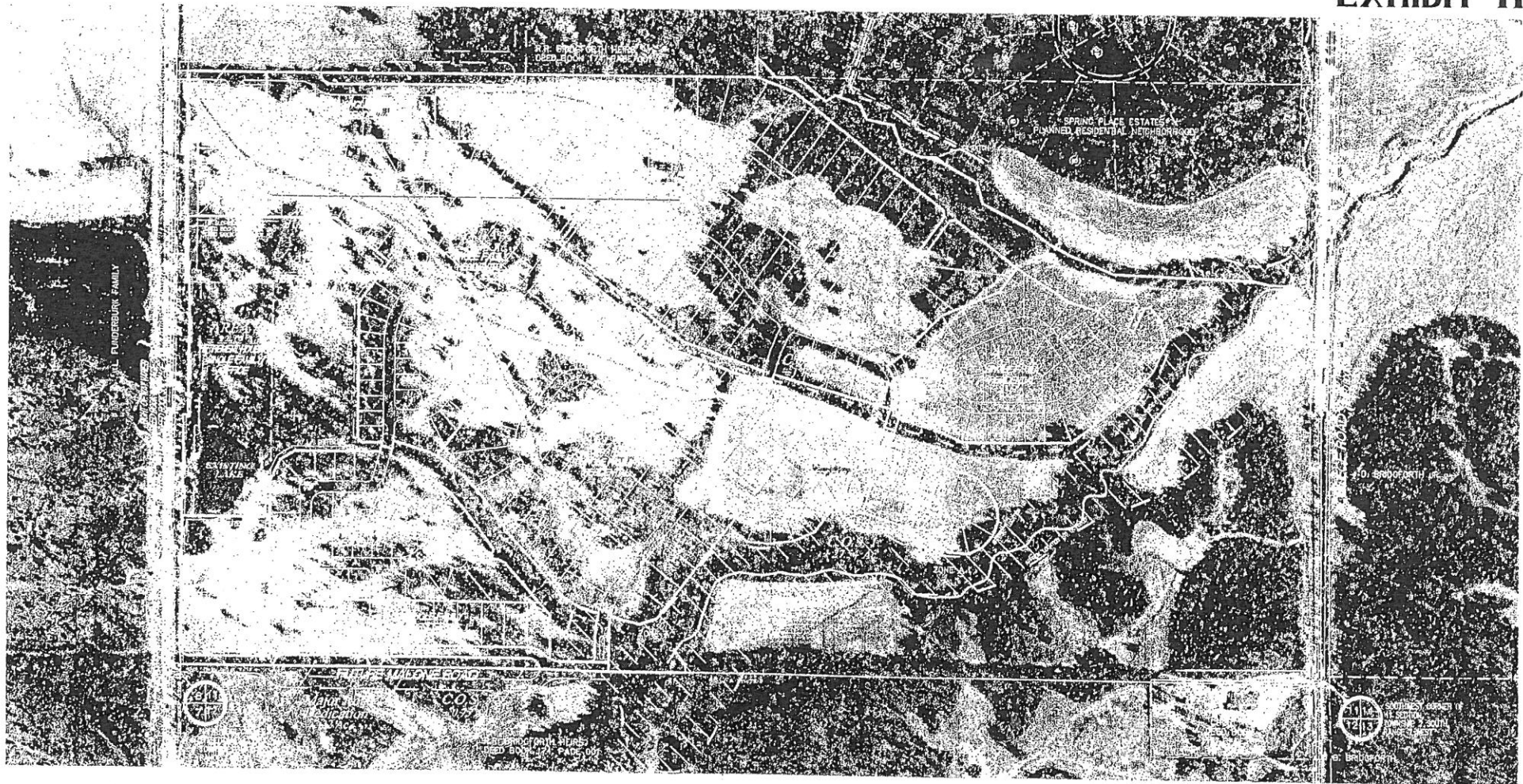
SITE AREA	231.60 AC.
RESIDENTIAL AREA	187.15 AC.
COMMON OPEN SPACE	36.51 AC.
MAJOR ROAD DEDICATION	2.22 AC.
RETAIL USE	5.72 AC.
HOUSES	563
DENSITY	2.11 DU/AC

PREPARED FOR:
BRIDGFORTH PROPERTIES
DESOTO COUNTY, MS



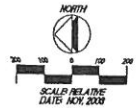
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SITE PLAN WITH AERIAL PHOTOGRAPH EXHIBIT H



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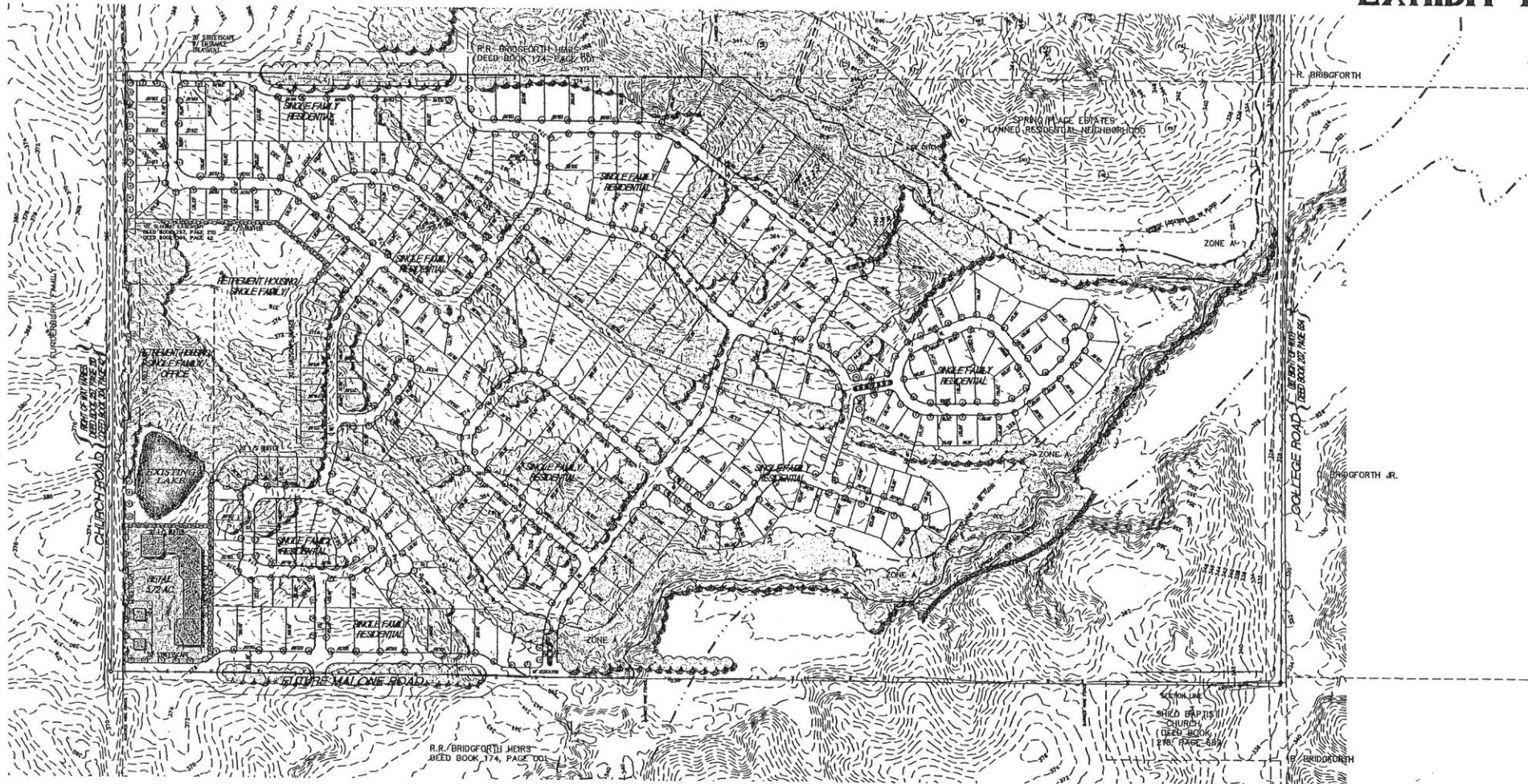
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DESOTO COUNTY, MS



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6445 RIDGEWAY CENTER PARKWAY, SUITE 103, MEMPHIS, TN 38120 PHONE 901.249.1900 FAX 901.249.1904

MASTER PLAN ILLUSTRATION EXHIBIT I

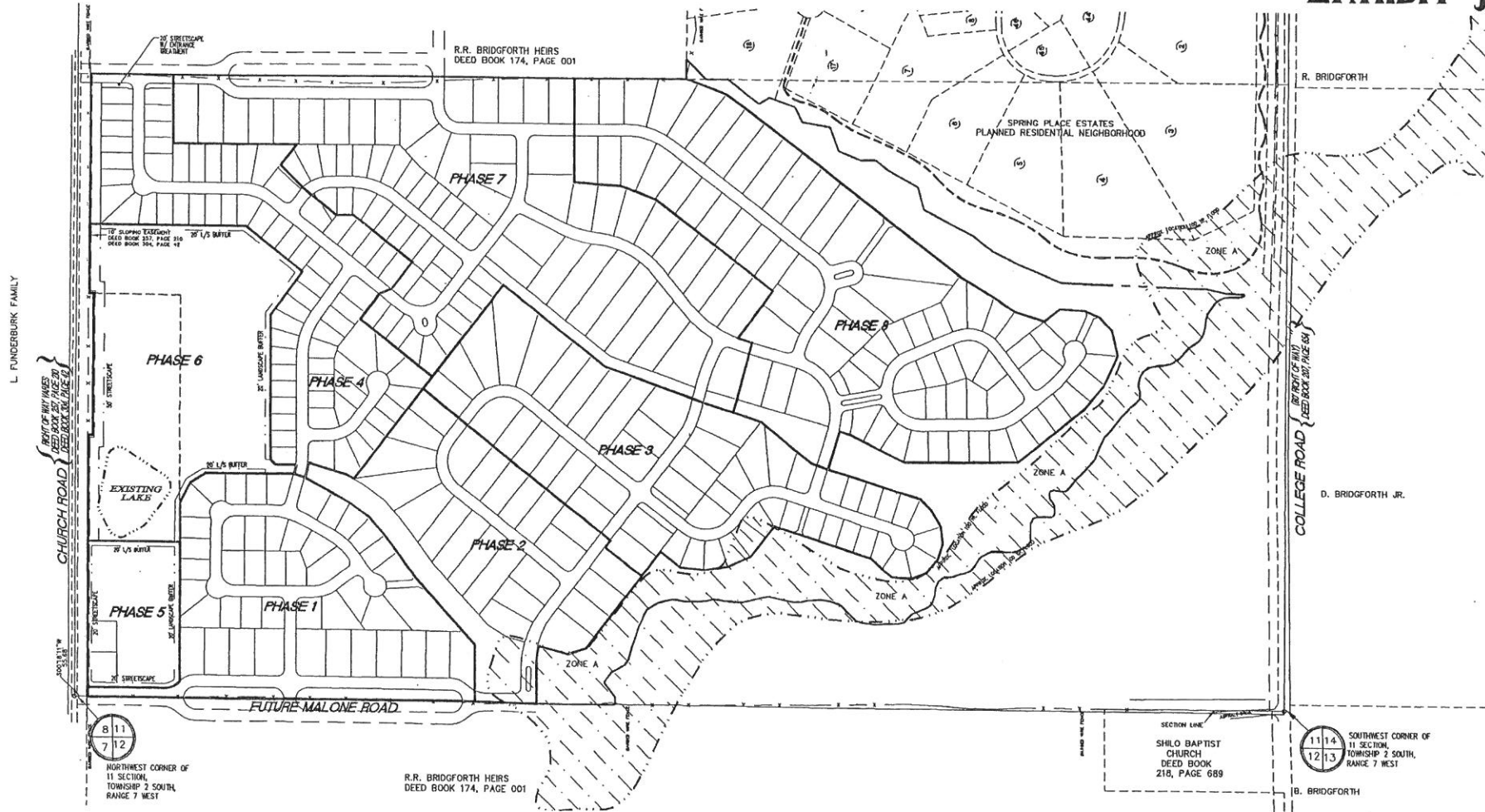


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PRELIMINARY PHASING PLAN EXHIBIT J



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DESOTO COUNTY, MISSISSIPPI

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LANDSCAPE PLATES EXHIBIT K

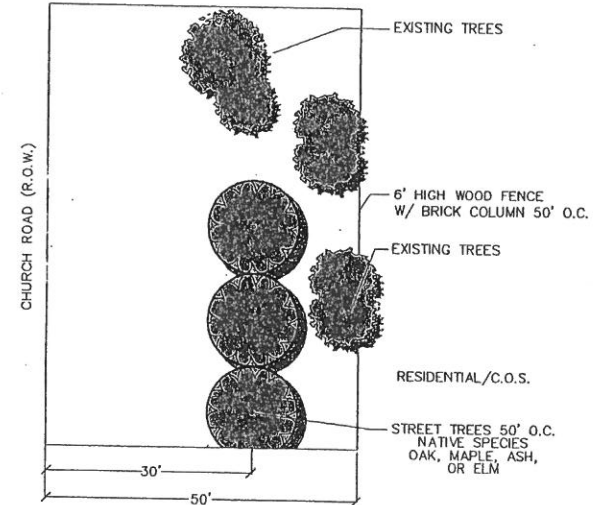
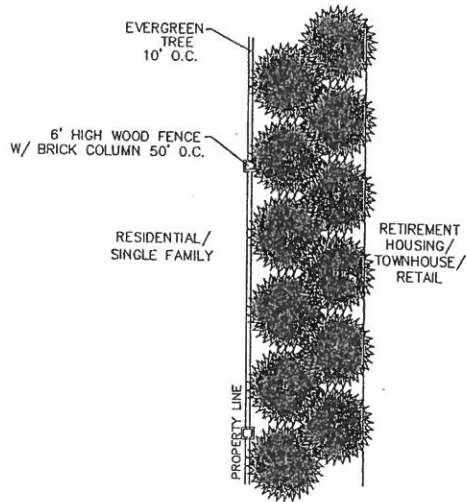
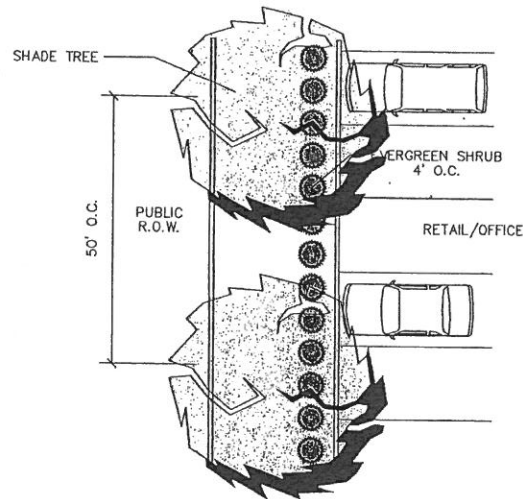
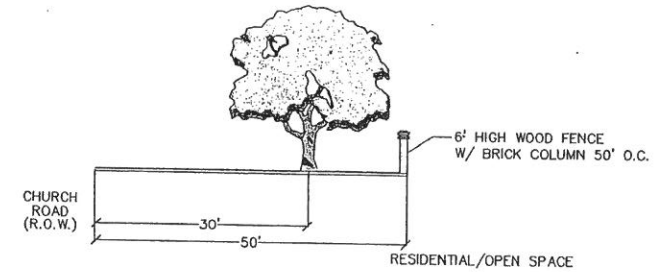
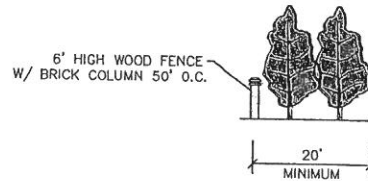
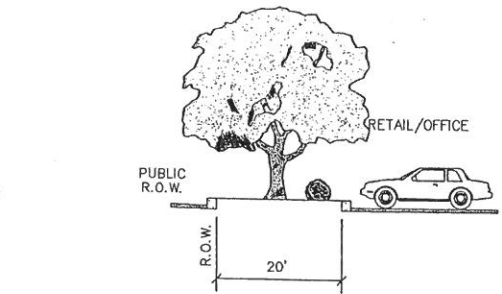


PLATE 1
20' STREETScape AREA - RETAIL USES
ALONG PUBLIC R.O.W.
N.T.S.

PLATE 2
20' LANDSCAPE AREA BETWEEN
RETAIL/RETIREMENT/SINGLE FAMILY
RESIDENTIAL
N.T.S.

PLATE 3
50' STREETScape AREA
CHURCH RD.
REVERSE FRONTAGE RESIDENTIAL
N.T.S.

NOTE: STREET TREES ARE TO BE PLANTED TO SUPPLEMENT AREAS THAT HAVE NO EXISTING TREE MASSES.

ANNABELLE

A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI

PREPARED FOR:
BRIDGFORTH PROPERTIES
DESOTO COUNTY, MS

DATE: NOV. 2003
DEVELOPMENT GRAPHIC PREPARED TO ILLUSTRATE DEVELOPMENT POTENTIAL AND IS SUBJECT TO FINAL DESIGN AND APPROVALS. BOUNDARY AND TOPOGRAPHIC IMAGES PROVIDED BY OTHERS FOR CREATION OF OVERALL COMPOSITE DEVELOPMENT ILLUSTRATION.

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PLANNING ■ LANDSCAPE ■ ARCHITECTURE
ONE KIDDERWAY CENTER PARKWAY SUITE 100, MEMPHIS, TN 38103 PHONE 901.748.8800 FAX 901.748.8800

STREET CROSS SECTIONS EXHIBIT L

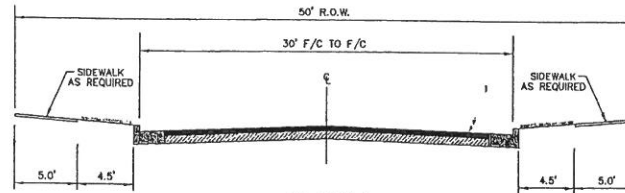


PLATE 1
50' R.O.W. STREET CROSS SECTION
URBAN RESIDENTIAL STREETS

N.T.S.

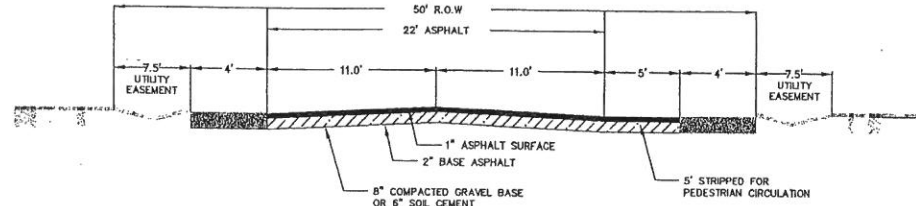


PLATE 2
ALTERNATE 50' R.O.W. STREET CROSS SECTION
RURAL RESIDENTIAL STREETS

N.T.S.

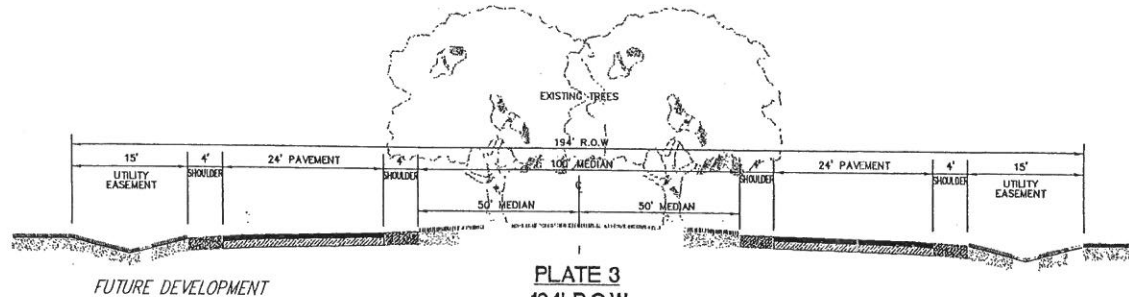


PLATE 3
194' R.O.W.
ARTERIAL ROADWAY
MALONE ROAD

N.T.S.

ANNABELLE
A PLANNED RESIDENTIAL DEVELOPMENT
DESOTO COUNTY, MISSISSIPPI

PREPARED FOR:
BRIDGFORTH PROPERTIES
DESOTO COUNTY, MS

DATE: NOV. 2003

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Page 65 of 142
DALHOFF ■ THOMAS ■ DAWS

**ADDENDUM TO THE ROBINSON CROSSING PLANNED DEVELOPMENT (PUD)
PROJECT TEXT AND MASTER PLAN
July 11, 2023**

I. Development History:

The Robinson Crossing Planned Development (PUD) was originally approved in 2003 as the “ Annabelle “ PUD. As part of a 2005 text amendment, the name was changed to Robinson Crossing PUD along with other minor changes. The PUD for Robinson Crossing development has seven areas proposing single family residential lots as part of the project, one area along Church Road as retail commercial and one area along Church Road as senior housing lots. The retail commercial and the senior housing lot sections of the PUD have not been developed. Also, one section of single family lots called Section “I” containing 43 lots has not been developed. A 9-lot single family lot Section “H” has been approved by the City of Olive Branch but no final plat has been filed. Construction of the road and the utilities to serve Section “H” has been started but not complete at this time. Over the years, the property within the Robinson Crossing PUD were approved in sections for development by the DeSoto County Board of Supervisors. Following the 2021 annexation, the Planning Commission and the Board of Aldermen of Olive Branch approved Sections “F” and “G” for residential lot development. At the time of approval of the Sections “F”, “G” and “H”, a question of the side yard set-backs allowed for the single family homes on the larger lots in the PUD were in question by the City of Olive Branch as to the PUD Project Text concerning the set-backs. The DeSoto County Board of Supervisors had approved a change in the setbacks but the PUD Project Text had not been changed. The Developer and the City of Olive Branch agreed that a Project Text amendment to the Robinson Crossing PUD is needed to clear up the discrepancy.

II. Background:

During the development of the Robinson Crossing Subdivision, the developer (Pleasant Hill Land and Development Co.) ask the DeSoto County Board of Supervisors to grant approval of a 29 foot wide asphalt surface street within the subdivision that would provide for two travel lanes and one 5 foot walking or bike lane. In one Section, approval was granted to have two 11-foot travel lanes and two 4 foot walking or bike lanes. This street construction pattern would allow an area for walking in the subdivision without the construction of concrete walks on each

**ADDENDUM TO THE ROBINSON CROSSING PLANNED DEVELOPMENT (PUD)
PROJECT TEXT AND MASTER PLAN**

July 11, 2023

lot. The DeSoto County Board of Supervisors were also ask by the developer and were granted a request of change the minimum side yard set backs for houses on 20,000 square foot lots from 15 feet on each side to a minimum of 5 feet one side with a total of at least 25 feet. The developer had requested to construct larger houses on the lots than were required in the covenants but still meet the requirement of side load garages. All parties agreed that this could be accomplished if the 5 foot minimum set back on one side was granted rather than having a minimum of 15 feet on both sides. That change is the side setbacks should accommodate the side load garage requirement.

As mentioned in the previous paragraph, several different road designs and walking arrangements have been used in the development. This amendment to the Robinson Crossing PUD will adopt five road plans and walking designs for the subdivision.

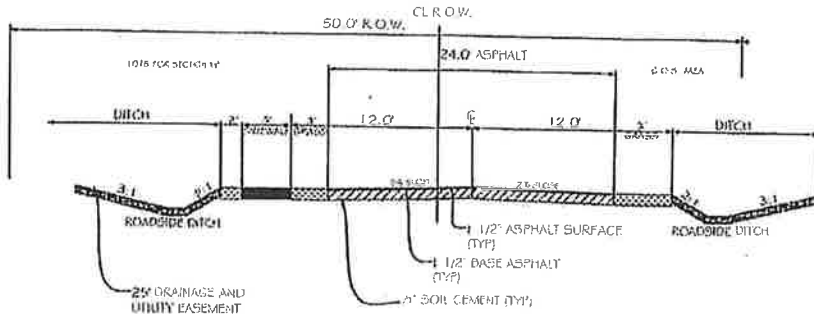
III. Purpose and Intent:

1. The purpose of this Addendum No 1 is to modify the Robinson Crossing PUD Project Text to clarify the proposed Amendment to allow the side yard setback for the house constructed on a lot having a minimum of 20,000 square feet in size to have a minimum of 5 feet on one side with a total of at least 25 feet.
2. The purpose of Amendment No. 2, is to provide a color – coded drawing of all subdivision streets and show the associated street cross sections including the sidewalk requirements that area required by the City. Included in the amendment will be the road cross sections that will apply to the street construction for the PUD. Also, add a footnote stating that “ There will be appropriate transitions made between the various cross sections at intersections to ensure there are contiguous and uninterrupted pedestrian pathways”.
3. The purpose of this Amendment No. 3 is to clarify that the Amendments will now take precedence and supersedes the 2005 Project Text in the event of a conflict in future development of Robinson Crossing PUD.

Respectfully Submitted by: Pleasant Hill Land and Development Co.

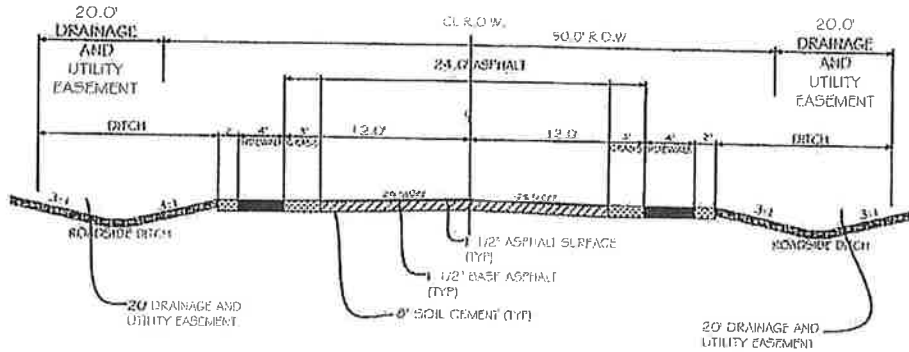
ADDENDUM TO THE ROBINSON CROSSING PUD PROJECT TEXT AND MASTER PLAN

**ROBINSON CROSSING
STREET CROSS SECTIONS
REVISED PLATE 2**



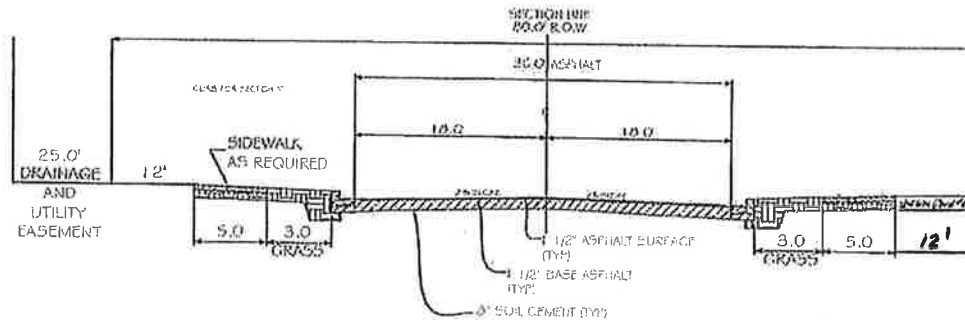
**50' R.O.W. STREET CROSS SECTIONS
URBAN RESIDENTIAL STREET
PARISH ROW**

STREET CROSS SECTION "A"



**50' R.O.W. STREET CROSS SECTIONS
URBAN RESIDENTIAL STREET
WOODGATE LANE**

STREET CROSS SECTION "B"

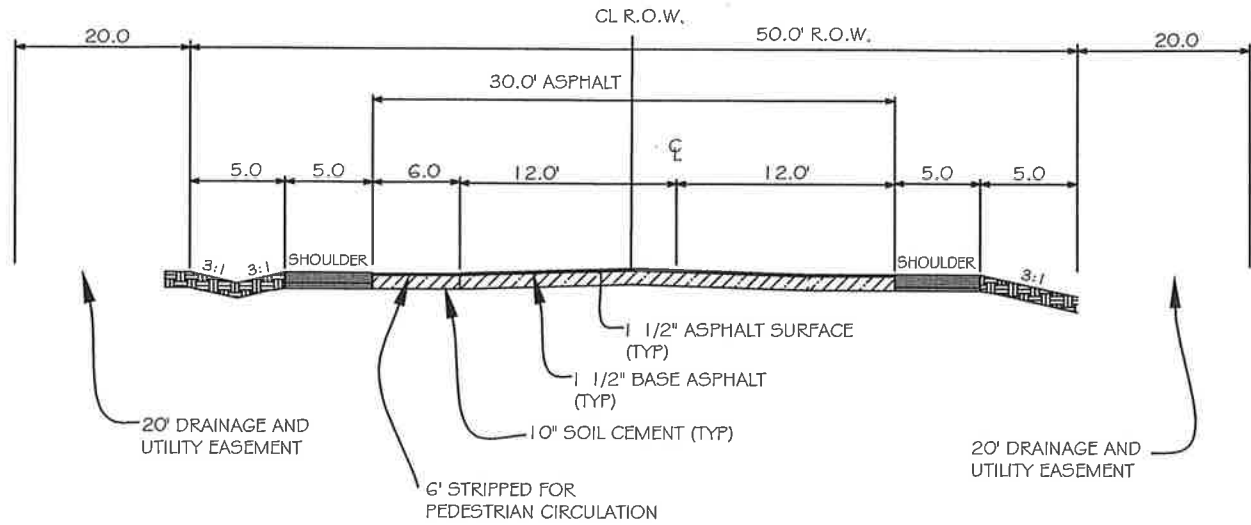


**40' R.O.W. STREET CROSS SECTIONS
URBAN RESIDENTIAL STREET
PARISH ROW
STA: 10+50 TO 14+40**

STREET CROSS SECTION "C"

Aug 2023

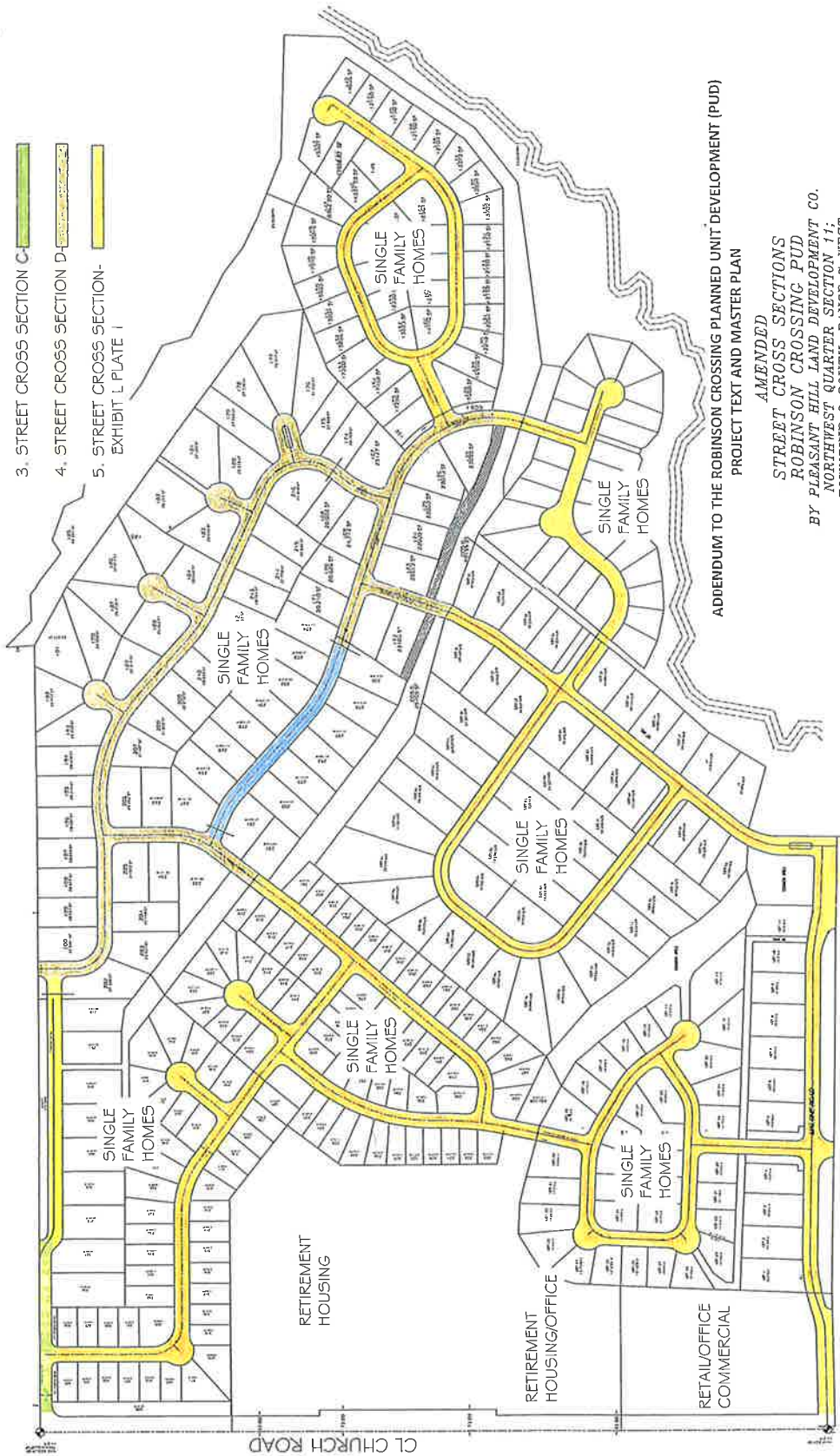
ADDENDUM TO THE ROBINSON CROSSING PUD
PROJECT TEXT AND MASTER PLAN



PARISH ROW
SECTION "C" PHASE III AREA 3
STREET CROSECTION "D"

Aug. 2023

- 1. STREET CROSS SECTION A-
- 2. STREET CROSS SECTION B-
- 3. STREET CROSS SECTION C-
- 4. STREET CROSS SECTION D-
- 5. STREET CROSS SECTION- EXHIBIT L PLATE 1



ADDENDUM TO THE ROBINSON CROSSING PLANNED UNIT DEVELOPMENT (PUD)
PROJECT TEXT AND MASTER PLAN

AMENDED
STREET CROSS SECTIONS
ROBINSON CROSSING PUD
BY PLEASANT HILL LAND DEVELOPMENT CO.
NORTHWEST QUARTER SECTION 11;
TOWNSHIP 2 SOUTH, RANGE 7 WEST

REPORT TO THE PLANNING COMMISSION

CAPTION/SUBJECT: Application for a Preliminary Plat for Highland Lake Subdivision, submitted by Nick Kreunen, Civil Link, on behalf of property owner, Bryant Cashion, FSB & Co, LLC. The request is to create 20 residential lots & 2 Common Open Spaces from 6.94+/-acres. The subject property is zoned R-3, Planned Residential District, and is on the west side of Hwy 305, just north of College Rd, known as 4225 Hwy 305.

- EXHIBITS:
- 1. Aerial Map
 - 2. Zoning Map
 - 3. Sidewalk Circulation Plan
 - 4. Preliminary Plat for Highland Lake

EXECUTIVE SUMMARY:

Nick Kreunen, Civil Link, on behalf of property owner, Bryant Cashion, FSB & Co, LLC., submits for consideration a preliminary plat for Highland Lake Subdivision on the subject property. The proposed single family residential subdivision will consist of twenty (20) single-family lots and two common open spaces (COS) (approx. 2.95 +/- ac). The site will be constructed in one (1) phase. The property is zoned R-3, Planned Residential District. The developer proposes a new public street with the main entrance from HWY 305 and interconnectivity to the west through Old River Farm. The subdivision would not be gated as was proposed and approved in the Highland Lake Project Text. However, the plat generally aligns with said project text and the Subdivision Regulations of the City. Staff recommends approval subject to various conditions.



HIGHLAND LAKE
RESIDENTIAL DEVELOPMENT

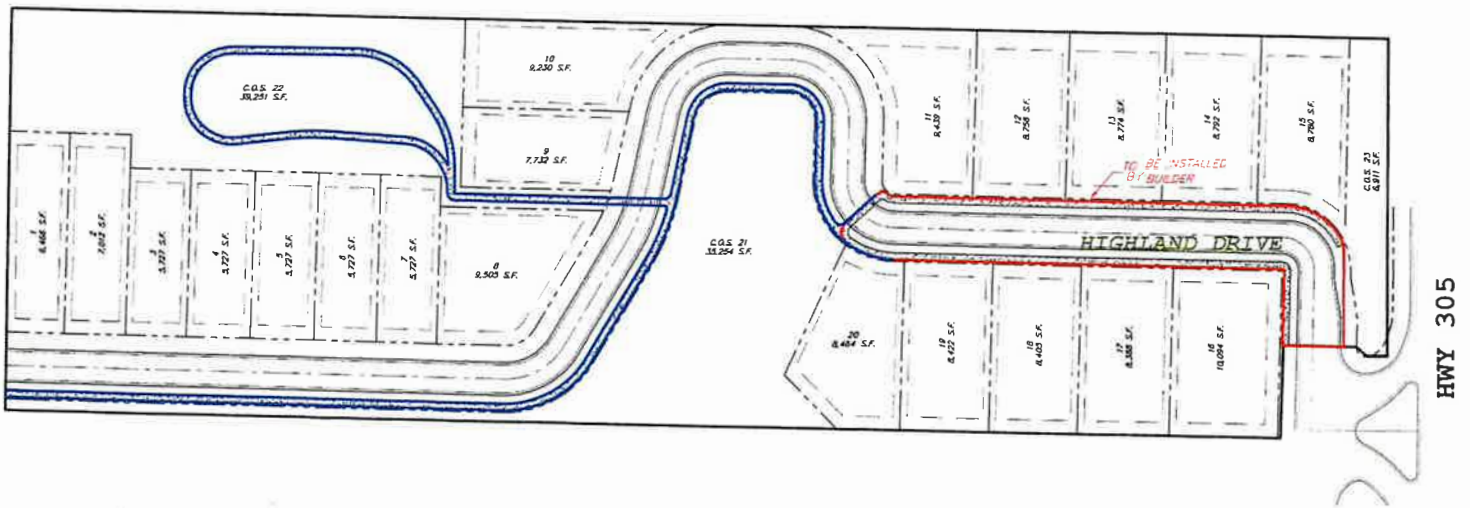


Figure 1: Proposed Preliminary Plat

1. BACKGROUND

General Information	
Applicant	Bryant Cashion, FSB & Co, LLC., represented by Nick Kreunen, P.E. with Civil Link.
Applicant's Status	Property Owner
Current Zoning of Property	R-3 – Planned Residential Development (Highland Lake)
Requested Action	Approve Preliminary Plat for Highland Lake Subdivision
Purpose	Potentially create 20 buildable single family residential lots, two common open spaces (green space) and one new public street section
Location	North of College Rd, just west of Hwy 305.
Size of land to be subdivided	± 6.94 acres
Existing Land Use	Vacant
Future Land Use Designation	Suburban Neighborhood
Project Text and Preliminary Development Plan Approval	Approved on April 5, 2022.
Applicable Regulations	Highland Lake Project Text, Zoning Ordinance, and Subdivision Regulations

The proposed preliminary plat is the initial step in the subdivision process, which would proceed to final plat and recordation in future. The site will be developed as a single-family residential neighborhood with a public street, and the applicant intends to construct the subdivision in single phase as was intended in the project text for Highland Lake. The developer proposes to change the development from a private gated community as was approved in the project text/preliminary development plan, to an open access subdivision from both HWY 305 and the adjoining Old River Farm subdivision. Proposed utilities will include underground water, sewer, gas, and electric lines. While an existing pond will be utilized for stormwater management, additional stormwater management may be needed.

Number of Lots	20
Home Square-Footage Range	2,000 – 3,500 sq.ft.
Dwelling Units Per Acre	2.83
Open Space (Total)	2.95 acres

2. ANALYSIS

2.1. Zoning and Lots

The subject property is zoned R-3, Planned Residential district. The project text approved by the Board of Aldermen on April 5, 2022 establishes the zoning regulatory provisions of the property. Permitted uses are mainly single family residential. Bulk requirements shall be as stipulated in the approved applicable project text. The submitted plat does not violate any such requirements. The smallest buildable proposed lot is 5,727 sq ft., and the largest lot is 10,094 sq ft. Two land areas along Highland Drive will be reserved as common open space and for stormwater management.

The property is surrounded to the north and to the east by single family residential subdivisions. The Zoning Ordinance does not require a buffer between single-family houses. In this regard, there is no regulatory requirement for a buffer between the proposed single family residential lots and the single family lots in the adjoining subdivisions.

2.2. Subdivision Infrastructure

2.2.1. Utilities

Existing water and gas lines are available along HWY 305. Sewer is also available on Highland Drive. These utilities will need to be extended across either road to the subject property. The developer will be responsible for the extension of said utilities to the site, with all utilities being underground. Full sets of construction plans shall be submitted to the City Engineer and Planning staff for review and approval.

2.2.2. Transportation

The proposed street, which would be an extension of the existing Highland Dr in Old River Farm would have a 50' right-of-way when dedicated to the public in the future. This new section of Highland Dr shall be constructed with curb, gutter, sidewalks, and a pavement width of 30' face-to-face of curb. The pavement width of the existing section of Highland Drive in Old River Farm is only 19' face-to-face of curb because it was intended to be a one-way street to provide for exit only from Highland Lake Subdivision. With the current proposal for this road to become a two-way street, the developer of Highland Lake would need to widen the existing pavement section of this road to 30' pavement width. The proposed street will meet the public streets standard for local street type.

The subject property has two access points: one located on the western side of HWY 305 and the second from College Rd. through the Old River Farm Subdivision. The public street access point on HWY 305 will be shared with Old River Farm as shown in Figure 2.

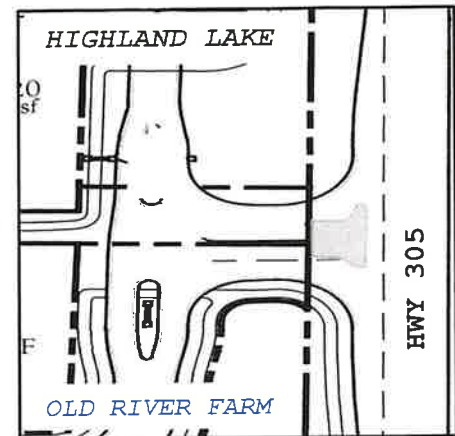


Figure 2: Entrance 305

3. NEXT STEPS:

Upon recommendation by the Planning Commission, the preliminary plat will be presented to the Board of Aldermen for approval. City regulations allow the subdivider, upon the approval of construction plans by the City Engineer, to proceed with construction of subdivision infrastructure. A Final Plat would need to be approved by the Planning Commission and Board of Aldermen and recorded before building permits can be issued for construction on any lot.

4. STAFF RECOMMENDATION:

Staff recommends that the Planning Commission approve the preliminary plat, subject to the following conditions:

1. All improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. The developer shall construct a 6ft tall cedar fence on the northern boundary of COS 22 and Lots 10-15 for Highland Lake Subdivision at the time of infrastructure.
3. At Final Plat submittal, the draft Declaration of Covenants Conditions & Restrictions will need to be customized for the Highland Lake Subdivision. The Declaration language should include the intent to impose a 2,000 heated sq. ft. minimum house size and design requirements for 2/3 brick (or masonry),

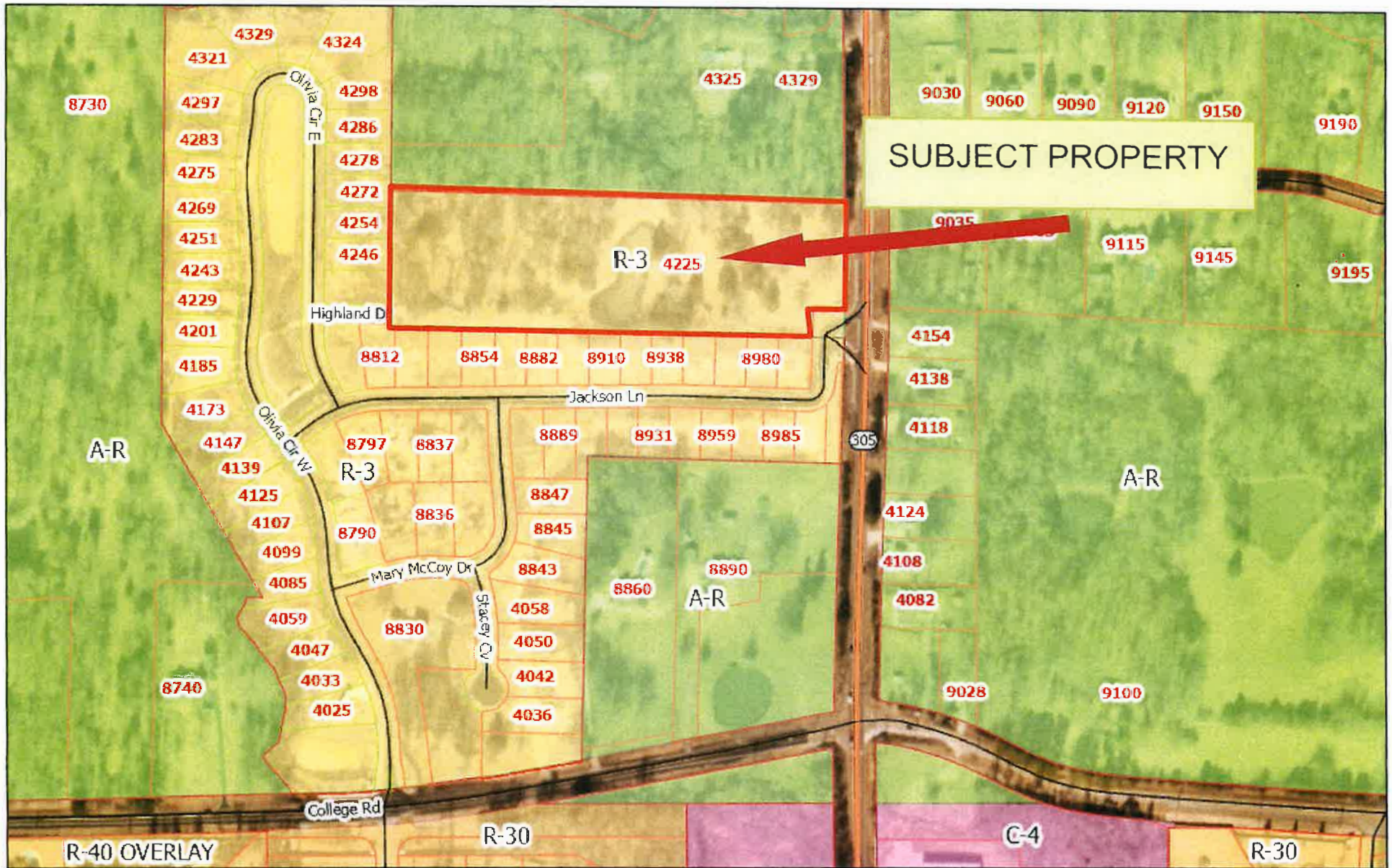
uniform mailboxes.

4. The developer of Highland Lake Subdivision shall widen the existing Highland Dr. section in the Old River Farm subdivision to provide a 30' wide pavement face-to-face of curb. Sidewalks shall likewise be provided in the street section. However, the requirement for road verge or grass strip between the curb and the sidewalk is waived in only this section of Highland Lake.
5. At Final Plat submittal, add a plat note stating "Common Open Space (COS 21 and COS 22) is dedicated to the Subdivision Homeowners Association (HOA) for the purpose of stormwater detention and mailboxes. The HOA shall be responsible for maintenance."
6. A trail network shall be constructed in the Common Open Space (COS) as was required and approved in the project text/preliminary development plan for Highland Lake Subdivision.
7. Grading, drainage, and civil construction plans to be approved by the City Engineer.
8. The developer shall install drainage pipe, erosion control material, sewer mains and service, water mains, fire hydrants, and service, walking trails, curb and gutter for all streets, gravel or soil cement base, and asphalt for all streets, with the thickness and layering to be determined by the City Engineer. A performance guarantee, in an amount set by the City Engineer, must be filed prior to recording the final plat to ensure the installation of all of the improvements prior to issuance of any building permit for any lot on the property.
9. Plans for landscaping and entry feature / signage in common open space areas subject to review and approval of City Planning & Development Director, or designee.
10. On Final Plat, along the northern boundary, note there is a 20' wide tree preservation easement along the rear of COS 22 and lots 10-15 in favor of the Subdivision HOA.
11. Streetlight plans to be submitted to the City Engineer for approval.
12. Street identification and traffic control signs and devices to be installed by the developer to City specifications.
13. Highland Drive shall be constructed to local public street standards to guarantee appropriate accessibility for emergency fire trucks, solid waste pickup trucks, etc.
14. All utilities and services (electric, telephone, cable, etc.) to be installed underground. The water service lines shall be installed with tracing wire at the top.

PREPARED BY Jeremiah McCuskey DATE: 7/3/25
 CHECKED FOR SUBMISSION TO THE PLANNING COMMISSION BY: [Signature] DATE: 7/3/2025
 MOTION BY: _____ SECOND BY: _____

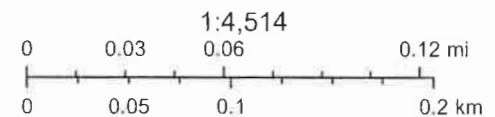
VOTE	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____

EXHIBIT 1 ZONING MAP



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- | | | | | | |
|--------|--|-------------|--|-------|--|
| Zoning | R-30 | Tax Parcels | PRELIMINARY 2025 LANDROLL | Roads | State Highways |
| | A-R | | <all other values> | | Local |
| | C-4 | Addresses | | | |
| | R-3 | | | | |

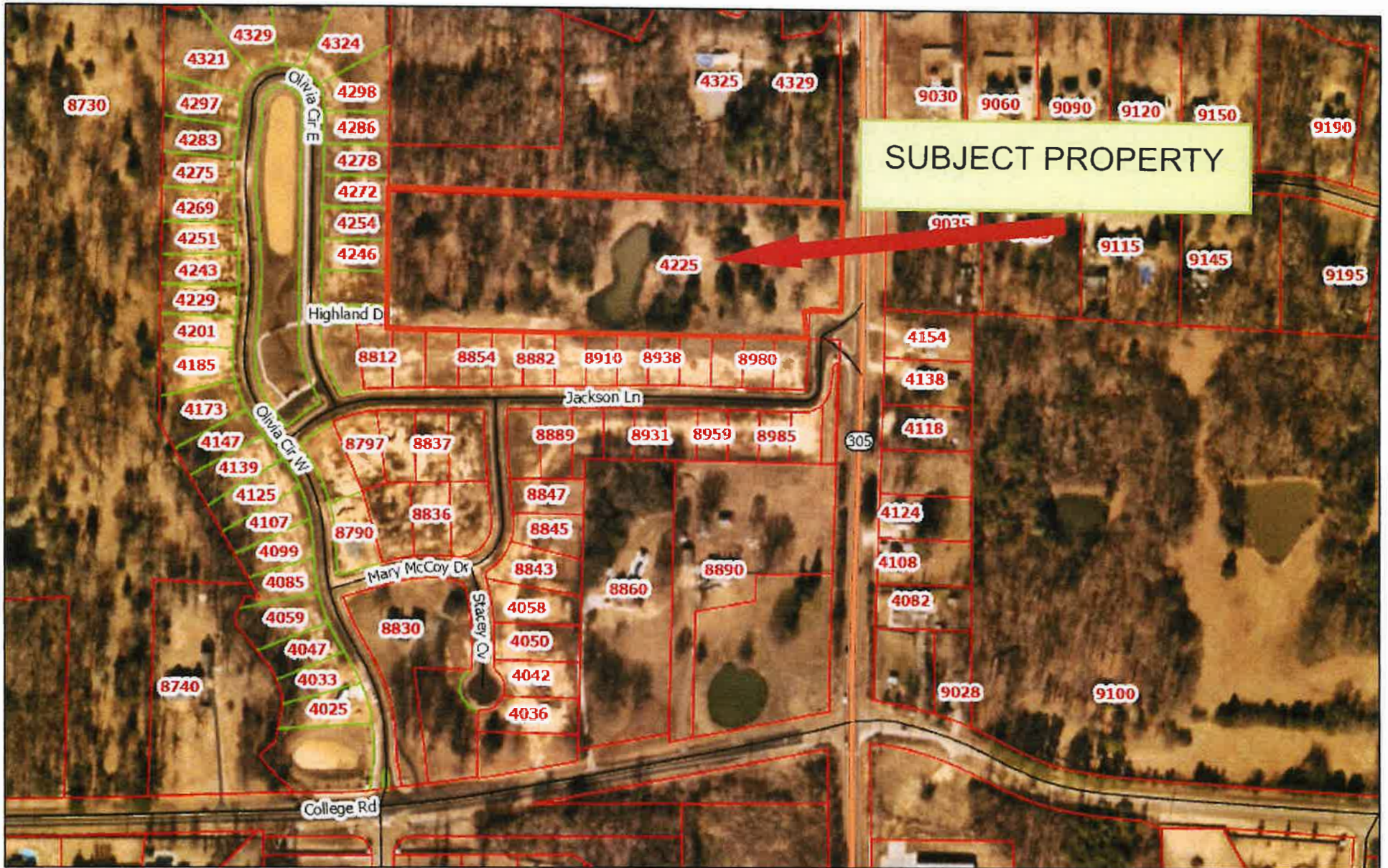


Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

City of Olive Branch

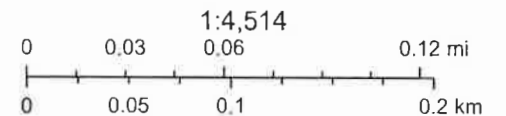
Disclaimer: The City of Olive Branch, its employees, agents and personnel, MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR A PARTICULAR PURPOSE, OR ANY OTHER WARRANTY WHETHER EXPRESS OR

EXHIBIT 1 AERIAL MAP



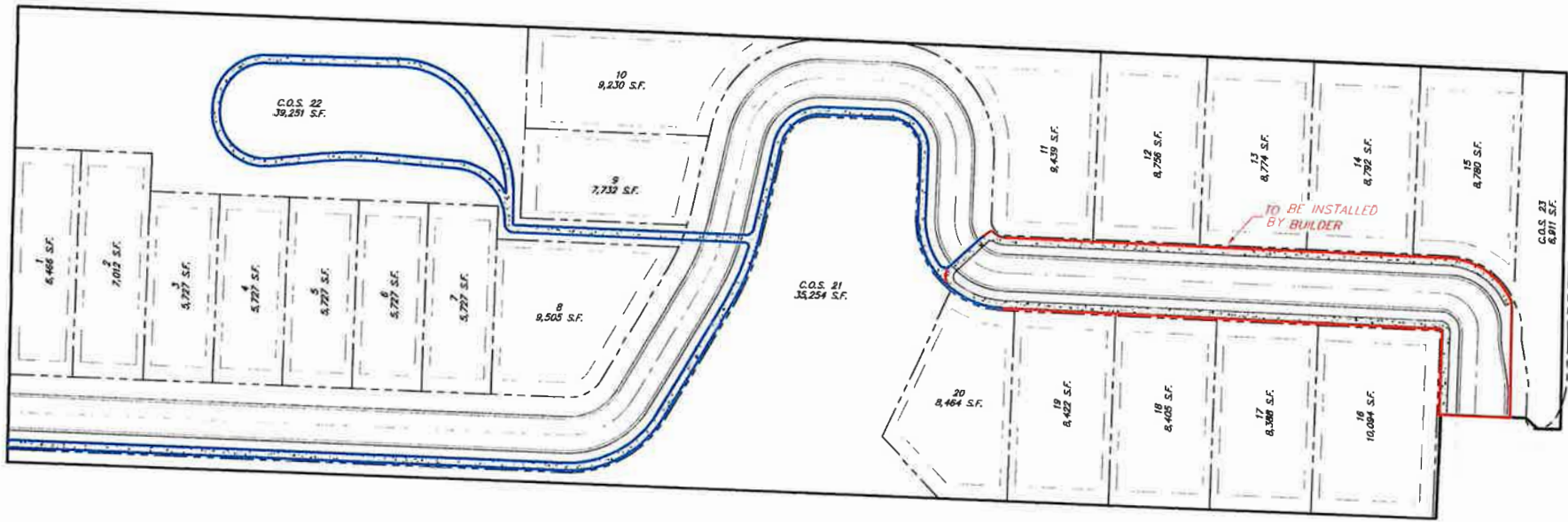
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- Addresses
- Tax Parcels
- PRELIMINARY 2025 LANDROLL
- <all other values>
- Roads
- State Highways
- Local



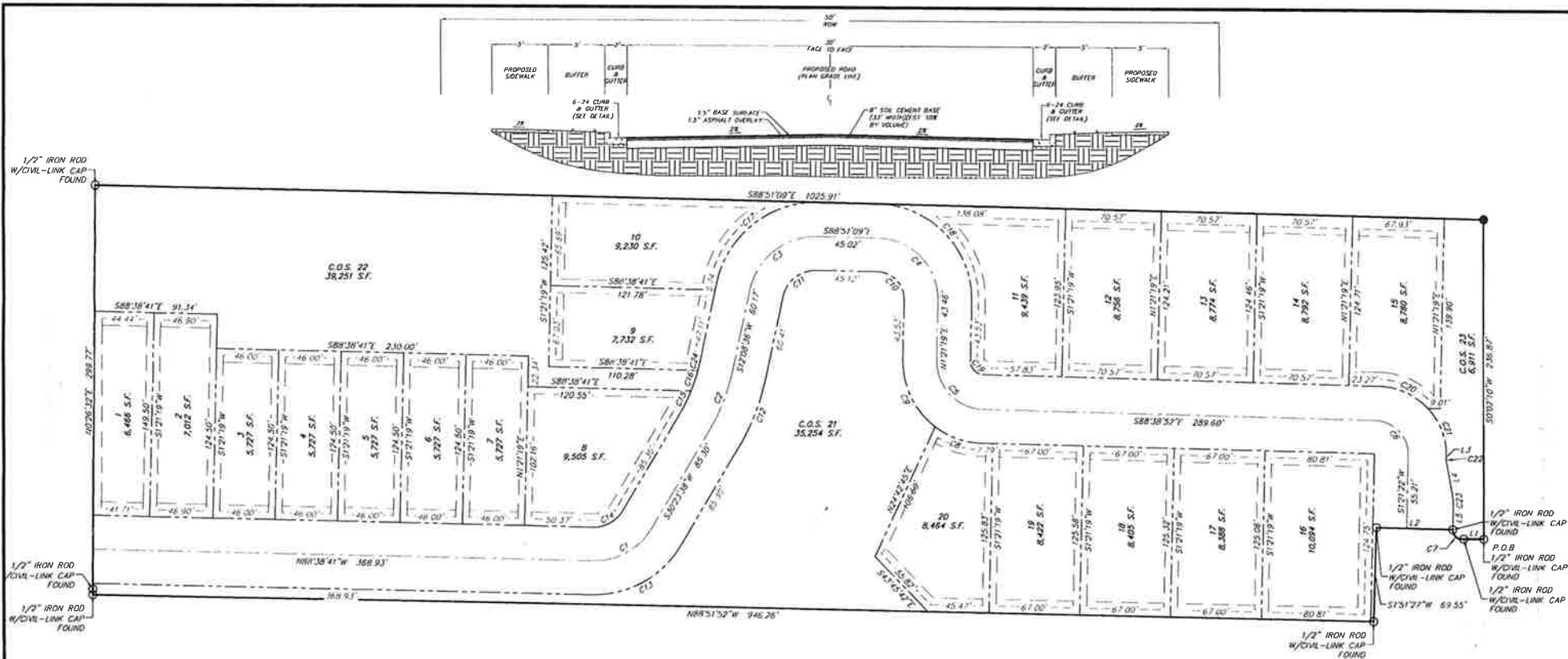
Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

City of Olive Branch



SIDEWALK CIRCULATION PLAN
 HIGHLAND LAKE SUBDIVISION

SHEET
 1 OF 1



NOTES

1. THE PROPOSED USE OF ALL THE LAND IN THE SUBDIVISION IS SINGLE FAMILY DWELLINGS.
2. WATER SERVICE WILL BE PROVIDED BY THE CITY OF OLIVE BRANCH.
3. SEWER SERVICE WILL BE PROVIDED BY THE CITY OF OLIVE BRANCH.
4. MINIMUM BUILDING SETBACKS:
 10' FRONT YARD
 5' SIDE YARD
 10' REAR YARD
5. UTILITY EASEMENTS:
 5' FRONT YARD
 5' SIDE YARD
 5' REAR YARD
6. THIS PROPERTY IS NOT LOCATED IN FEMA IDENTIFIED SPECIAL FLOOD HAZARD AREA ACCORDING TO MAP NO. 2803JC0112H EFF. DATE 5/5/2014
7. 1/2" x 18" IRON RODS WITH CIVIL-LINK CAP SET ON ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.

SURVEY DATA

1. CLASS "D" SURVEY
2. FIELD SURVEY COMPLETED ON 05/24/2022
3. DRAWING COMPLETED ON 04/05/2025
4. REFERENCE MATERIALS:
 4.1. OLD RIVER FARMS SUBDIVISION PHASE 1 PB 152 PG 15
 4.2. OLD RIVER FARMS SUBDIVISION PHASE 2 PB 154 PG 34
 4.3. SATURDAY JAMES M ETUX DB 153 PG 411
5. NORTH REFERENCE
 5.1. BEARINGS REFERENCED TO THE MISSISSIPPI STATE PLANE COORDINATE SYSTEM, GRID WEST ZONE NAD83, GEOID G2018U7 BY RIN GPS OBSERVATION

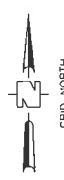
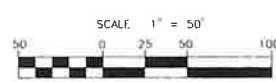
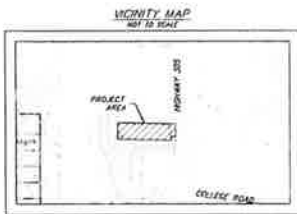
Curve Table						Curve Table						Parcel Line Table		
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Line #	Length	Direction
C1	53.20	50.00	60.95	N60°52'29"E	50.72	C13	79.80	75.00	60.96	N60°52'29"E	76.09	L1	14.88	N89°57'49.63"W
C2	46.19	145.00	18.25	N21°16'07"E	45.99	C14	26.60	25.00	60.96	N60°52'29"E	25.36	L2	56.50	N88°38'37.67"W
C3	68.94	50.00	79.00	S51°38'44"W	63.61	C15	16.27	120.00	7.77	N26°30'32"E	16.26	L3	8.21	S1°21'22.33"W
C4	70.85	45.00	90.21	N43°44'55"W	63.75	C16	15.74	120.00	7.52	N18°51'58"E	15.73	L4	25.64	S9°57'13.42"E
C5	54.98	35.00	90.00	S43°38'41"E	49.50	C17	103.68	75.00	79.20	S51°44'43"W	95.62	L5	18.05	S1°21'22.33"W
C6	39.27	25.00	90.00	N43°38'39"W	35.36	C18	110.21	70.00	90.21	N43°44'55"W	99.17			
C7	17.34	7.00	101.04	S49°09'49"E	10.81	C19	15.71	10.00	90.00	S43°38'41"E	14.14			
C8	37.34	60.00	35.66	S70°49'01"E	36.74	C20	39.69	50.00	45.49	N65°54'08"W	38.66			
C9	56.91	60.00	54.34	S25°49'01"E	54.00	C21	38.85	50.00	44.51	N20°54'05"W	37.88			
C10	31.49	20.00	90.21	N43°44'55"W	28.34	C22	2.37	12.00	11.31	S4°17'56"E	2.36			
C11	34.47	25.00	79.00	S51°38'44"W	31.81	C23	7.50	38.00	11.31	S4°17'56"E	7.49			
C12	54.15	170.00	18.25	N21°16'07"E	53.92	C24	6.21	120.00	7.96	N13°37'33"E	6.21			

LEGEND

PROPERTY LINE	—————
BUILDING SETBACK LINE	- - - - -
FENCE	—————
UTILITY EASEMENT	- - - - -
DRAINAGE EASEMENT	—————
CENTER LINE ROAD	—————
1/2" x 18" IRON ROD SET	●
MONUMENT FOUND	○

ABBREVIATIONS

P.O.B.	= POINT OF BEGINNING
P.O.C.	= POINT OF COMMENCEMENT
R.O.W.	= RIGHT OF WAY
S/D	= SUBDIVISION
IRF	= IRON ROD FOUND
APR	= AS PER RECORD
APS	= AS PER SURVEY
PB	= PLAT BOOK
PG	= PAGE
DB	= DEED BOOK
U.E.	= UTILITY EASEMENT
FF	= FINISH FLOOR ELEVATION
IRS	= IRON ROD SET



BEARINGS REFERENCED TO THE MISSISSIPPI STATE PLANE COORDINATE SYSTEM WEST ZONE, NAD83, GEOID G2018U7 BY RIN GPS OBSERVATION
 SCALE FACTOR
 CONVERGENCE ANGLE

Civil Link
 "CONNECTING RESOURCES"
 5778 KETWELL RD. SUITE # SOUTHAVEN, MS 38675
 OFFICE: 662-510-3169
 FAX: 662-510-2921
 WWW.CIVIL-LINK.COM

**PRELIMINARY PLAT
 HIGHLAND LAKE
 SUBDIVISION**
 DESOTO COUNTY, MISSISSIPPI
 APRIL 10, 2025
 ZONING = PUD
 TOTAL AREA = 6.94 ACRES
 20 LOTS 2 C.O.S.
 S9 T25 R6W
 CIVIL-LINK PROJECT NUMBER: 210824-001
 SURVEYOR: CIVIL-LINK
 DEVELOPER: BRYANT CASHION

REPORT TO THE PLANNING COMMISSION

CAPTION / SUBJECT: Application for a Zoning Map Amendment, submitted by Ben Smith, Smith Walker Engineering & Surveying, on behalf of property owner, Acree Family Trust. The request is to rezone 2 parcels, totalling 28.59+/- acres from A-R, Agricultural-Residential District, to R-1, Single Family Residential District, for the purpose of a detached single-family residential subdivision. The subject property is located at the northeast corner of Hamilton Circle N, and Hummingbird Circle W, east of Hummingbird Drive. (File # ZP25-0004)

- EXHIBITS:**
1. Applicant Letter of Request
 2. Aerial View Map
 3. Current Zoning Map
 4. Future Land Use Map
 5. Preliminary Development Plat

EXECUTIVE SUMMARY: The applicant, Ben Smith, Smith Walker Engineering & Surveying, on behalf of Acree Family Trust, the Property Owner, requests rezoning of Parcel No. 106930010 0000400 (±19.89ac) and Parcel No. 106930010 0000500 (±8.70ac), both from A-R, Agricultural Residential District to R-1, Single Family Residential District. The purpose is to develop both parcels as the Acree Farms Subdivision, which will consist of 71 detached single family residential lots ranging in size from 12,504 sq ft. to 27, 044 sq ft as currently shown on the associated preliminary plat. The developer proposes houses of at least 2,000 sq ft. heated area. From the 1990s when the subject property was annexed into the City, its surroundings have changed from agricultural/agricultural residential to suburban neighborhood consisting of smaller lots with streets having curb, gutter, and sidewalks. The requested rezoning aligns with this change. The Future Land Use Map in the Comprehensive Plan 2040, which articulates the land use public need policies of the City, designates the subject property as Suburban Neighborhood, which the requested R-1 zoning district conforms with. Staff recommends approval.

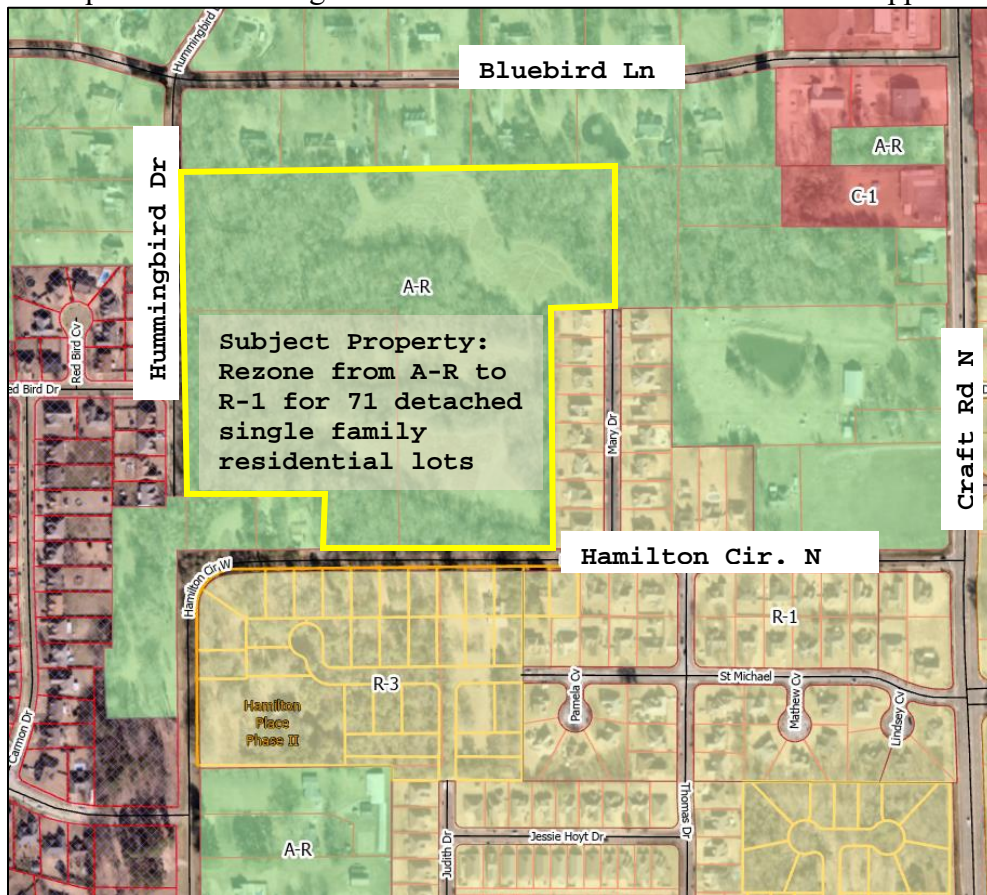


Fig. 1: Aerial and Zoning of Subject Property and its Surroundings

1. BACKGROUND:

General Information			
Subject Property	Parcel No. 106930010 0000400 (±19.89ac) and Parcel No. 106930010 0000500 (±8.70ac), both owned by The Acree Family Trust		
Total Subject Property Land Area	±28.59 ac.		
Location	East of Hummingbird Dr., north of Hamilton Cir. W., west of houses along Mary Dr., and south of houses along Blue Bird Ln.		
Applicant	Property Owner, The Acree Family Trust		
Applicant's Representation	Ben Smith, Smith Walker Engineering & Surveying., represented by Ben Smith and Chance Walker.		
Current Zoning of Subject Property	A-R, Agricultural Residential		
Requested Action	Approve the rezoning of subject property from A-R, Agricultural Residential District to R-1, Single-Family Residential District		
Purpose	Create a 71 detached single family residential subdivision to be known as Acree Farms Subdivision.		
Proposed Minimum House Size	2,000sq. ft. of heated area (noted on associated preliminary plat application #SD25-0011)		
Existing Land Use	Vacant		
Surrounding Zoning and Land Use	<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>
	North	A-R	Detached Single Family Residential
	East	R-1 and A-R	Detached Single Family Residential
	South	R-3 (Planned Residential District)	Detached Single-Family Residential
	West	R-3 and A-R	Detached Single Family Residential
Future Land Use Designation	Suburban Neighborhood Character: "... Suburban neighborhoods have lot sizes ranging from 6,000 sq. ft. to 30,000 sq. ft. with most in the 12,000-15,000sq ft. range. These subdivisions generally have urban roadway sections (curb, gutter, and sidewalks) ...”		

2. COMPARISON OF CURRENT AND PROPOSED ZONING BULK REGULATIONS

Bulk Item	Current A-R Zoning	Proposed R-1 Zoning
Minimum Lot Size	1 acre	12,500sq. ft.
Front Setback	50 ft.	35 ft.
Side Setback	15 ft.	8 ft (minimum 20ft total on both sides)
Rear Setback	50 ft.	30 ft
Minimum width at building setback line	110 ft.	85 ft
Maximum Height	2½ stories or 35ft	2½ stories or 35ft
Maximum Density	1.0 dwelling units per acre	3.5 dwelling units per acre Actual development gross density (as shown on associated preliminary plat) would be 2.48du/ac.

ANALYSIS

The criteria used to evaluate a rezoning are listed below, followed by a staff finding:

1. The original zoning classification for the property was a mistake; or that,

Applicant's Submission:

The applicant makes no claim regarding the existing A-R zoning of the property being a mistake.

Staff Finding:

The subject property was annexed into the City of Olive Branch in 1990. At that time, both parcels had the Desoto County's A-R Zoning designation. Since then, the parcels have not been rezoned.

2a. The character of the neighborhood has changed to such an extent to justify the proposed rezoning; (If the proposed zoning classification does not conform to the City's General Development Plan, the applicant shall be required to offer proof with regard to what major economic, zoning, physical, or social changes, if any, have occurred in the vicinity of the property in question, which were not anticipated by the General Development Plan, and which have altered the basic character of the area, to make the amendment appropriate.) and that,

Applicant's Submission:

The area surrounding the subject property has experienced significant residential growth over the past decade. Several subdivisions with R-1 Zoning have been developed in the immediate vicinity, some of which directly adjoin or are located withing a short distance of our parcels. This evolving pattern of land use from rural/agricultural to suburban residential- demonstrates a clear and sustained shift in the character of the neighborhood.

The subject parcels are now one of the few remaining undeveloped agricultural areas in this part of Olive Branch, and their continued classification as AR is no longer consistent with surrounding land use or development pressures. Rezoning the property to R-1 will align with the prevailing character of the area and facilitate a logical continuation of existing residential development patterns.

While the proposed R-1 zoning is broadly consistent with the City’s development goals, we acknowledge that the Comprehensive Plan may not have fully anticipated the scale and pace of residential demand experienced in this area. Several economic and physical changes have occurred in recent years that support this rezoning:

- Increased demand for housing due to sustained population growth in Olive Branch and the greater Desoto County area
- Multiple new subdivisions developed or approved nearby, setting a precedent for suburban residential land use.
- Commercial development in very close proximity to the proposed subdivision.

These changes have altered the development context of the area and make this rezoning request both appropriate and timely.

Staff Finding:

At the time of annexation of the subject property into the corporate limits of the Olive Branch in 1990, the property and its surroundings were predominantly rural agricultural in character. Since then, except for large rural-estate lots that existed along Blue Bird Ln at the time of annexation, the character of the area has changed significantly to suburban neighborhood with the development of smaller lots detached single-family residential units around the subject property. Figure 2 below summarizes land use character changes that have occurred in the area since 1996.

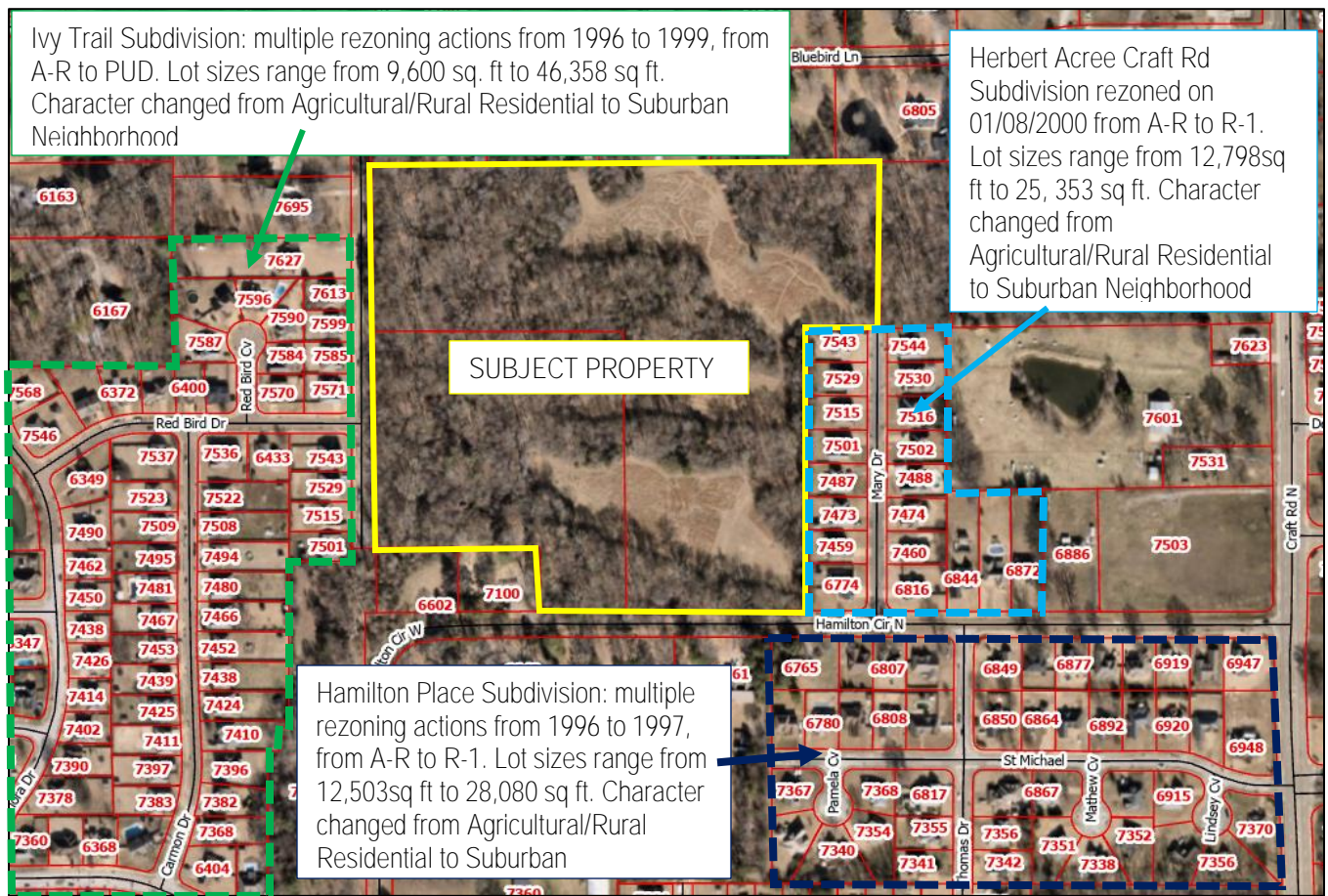


Fig. 2: Area Character Change through Rezoning from A-R to R-1, R-3, and PUD since 1996

It can be inferred from Figure 2 above that in the past thirty years, after the subject property was annexed into the City of Olive Branch, the character of the residential neighborhood area south of the rural estate lots along Blue Bird Ln and west of Hummingbird Dr has changed progressively from Agricultural/Rural Residential to Suburban Neighborhood. This requested rezoning aligns with this change.

2b. A public need exists for the rezoning.

Applicant's Submission:

There is well documented public need for additional housing in Olive Branch. The city continues to grow, and demand for single family homes-especially those on modestly sized, R-1 conforming lots-remains strong. Rezoning these parcels to R-1 will provide new opportunities for housing in a location that already benefits from access to public infrastructure and is adjacent to similar residential developments.

The proposed subdivision will offer high-quality, compatible housing that serves the needs of current and future residents, while enhancing the overall fabric of the surrounding neighborhood.

Staff Finding:


The Future Land Use Map in the Comprehensive Plan 2040, which articulates the land use public needs of the City, designates the subject property as Suburban Neighborhood to meet the residential needs in the City. This aligns with the requested rezoning.

NEXT STEPS


This application will move forward to the Board of Aldermen for a final decision on the rezoning. If the property were to be rezoned and the accompanying subdivision application (SD25-0011) are approved, the next step in the development process would be for the applicant to file permits for subdivision infrastructure construction.

STAFF RECOMMENDATION

Based on a finding that the character of the subject property area has changed in the last thirty years from Agricultural/Rural Residential to Suburban Neighborhood, which the requested rezoning aligns with, and that there is a public need for the rezoning as evident in the Future Land Use Map designation of the property, recommend that the Board of Aldermen approve the rezoning of Parcel No. 106930010 0000400 (±19.89ac) and Parcel No. 106930010 0000500 (±8.70ac), both now owned by The Acree Family Trust, from A-R, Agricultural Residential District, to R-1, Single-Family Residential District.

STAFF REPORT PREPARED BY: Venard Asongayi, CFM, AICP  **DATE:** 07/01/2025

MOTION BY: _____ **SECOND BY:** _____

	VOTE	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
	YES	_____	_____	_____	_____	_____	_____	_____
	NO	_____	_____	_____	_____	_____	_____	_____
	ABSTAIN	_____	_____	_____	_____	_____	_____	_____



SMITH WALKER
ENGINEERING & SURVEYING

To: City of Olive Branch Planning and Building Department
From: Smith Walker, LLC
Subject: Request for Rezoning – Hamilton Circle and Hummingbird Drive
Date: 13th of May, 2025

To Whom It May Concern,

On behalf of the property owner(s), I respectfully submit this letter of intent in support of our application to rezone two contiguous parcels of land located between Hamilton Circle and Hummingbird Drive in Olive Branch, Mississippi. The properties in question include:

- **19.89 acres** – Parcel No. **106930010 0000400**
- **8.70 acres** – Parcel No. **106930010 0000500**

The total area comprises approximately 28.59 acres, and is currently zoned A-R. We are requesting that these parcels be rezoned to R-1 Residential in order to develop a new single-family subdivision with min. lot sizes of 12,500 square feet, consistent with the surrounding residential neighborhoods.

2a. The character of the neighborhood has changed to justify the rezoning

The area surrounding the subject property has experienced significant residential growth over the past decade. Several subdivisions with R-1 Zoning have been developed in the immediate vicinity, some of which directly adjoin or are located within a short distance of our parcels. This evolving pattern of land use from rural/agricultural to suburban residential- demonstrates a clear and sustained shift in the character of the neighborhood.

The subject parcels are now one of the few remaining undeveloped agricultural areas in this part of Olive Branch, and their continued classification as AR is no longer consistent with surrounding land use or development pressures. Rezoning the property to R-1 will align with the prevailing character of the area and facilitate a logical continuation of existing residential development patterns.



2b. If the zoning does not conform to the future land use designation, unanticipated changes support the amendment

While the proposed R-1 zoning is broadly consistent with the City's development goals, we acknowledge that the Comprehensive Plan may not have fully anticipated the scale and pace of residential demand experienced in this area. Several economic and physical changes have occurred in recent years that support this rezoning:

- Increased demand for housing due to sustained population growth in Olive Branch and the greater Desoto County area
- Multiple new subdivisions developed or approved nearby, setting a precedent for suburban residential land use.
- Commercial development in very close proximity to the proposed subdivision.

These changes have altered the development context of the area and make this rezoning request both appropriate and timely.

3. There is an existing public need for the rezoning

There is well documented public need for additional housing in Olive Branch. The city continues to grow, and demand for single family homes-especially those on modestly sized, R-1 conforming lots-remains strong. Rezoning these parcels to R-1 will provide new opportunities for housing in a location that already benefits from access to public infrastructure and is adjacent to similar residential developments.

The proposed subdivision will offer high-quality, compatible housing that serves the needs of current and future residents, while enhancing the overall fabric of the surrounding neighborhood.

We appreciate your time and consideration of this request and look forward to working with the Planning Commission throughout this process. Should you require further information, documentation, or coordination, we would be happy to provide it.

Sincerely,

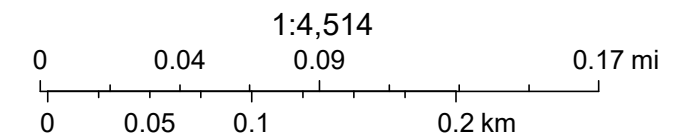
Ben W. Smith
Smith Walker, LLC.

AERIAL VIEW OF SUBJECT PROPERTY

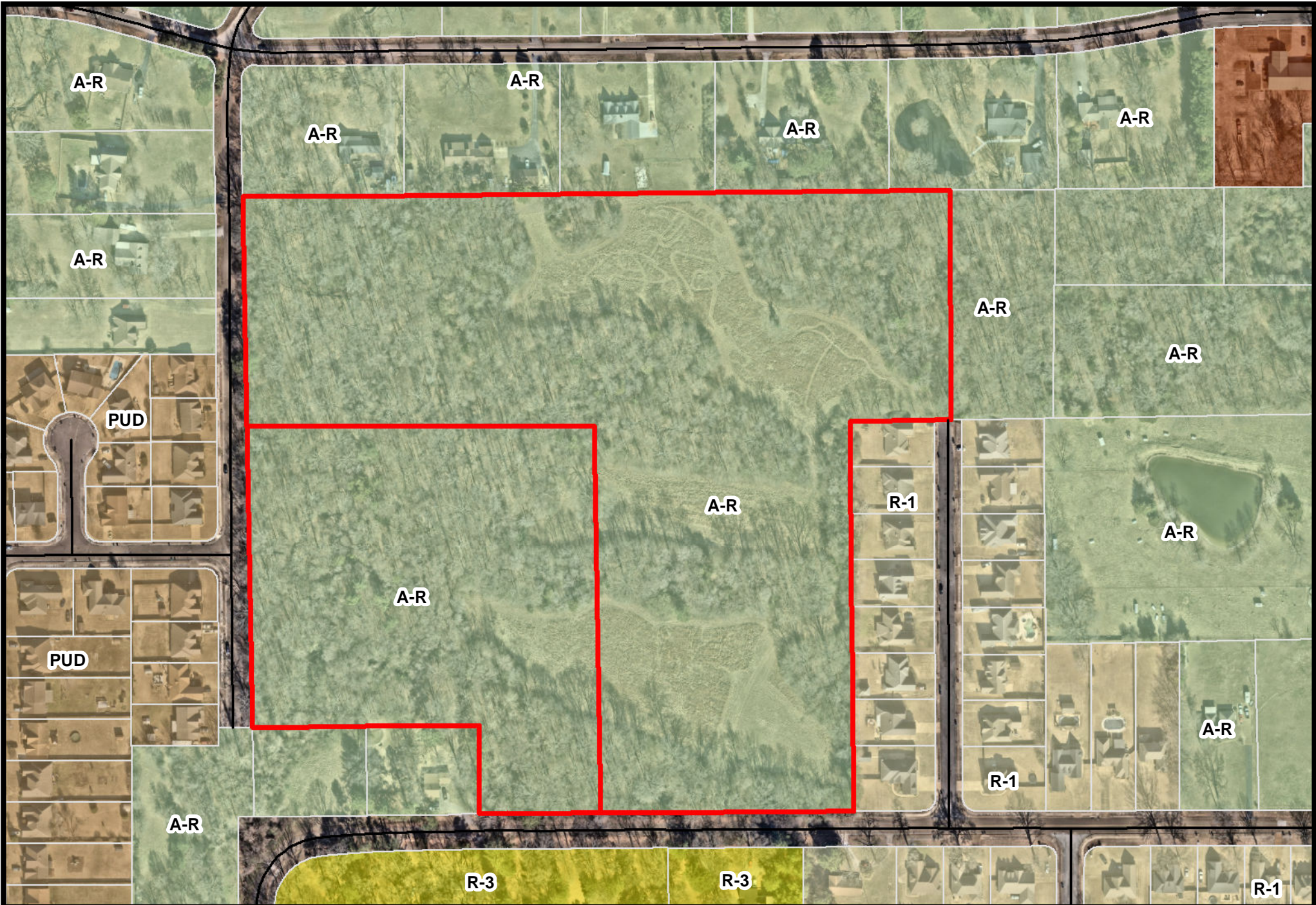


7/2/2025, 10:30:34 AM

Tax Parcels ▭ — Roads — US Highways — Local — Ramp



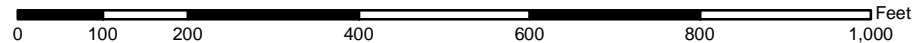
Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user

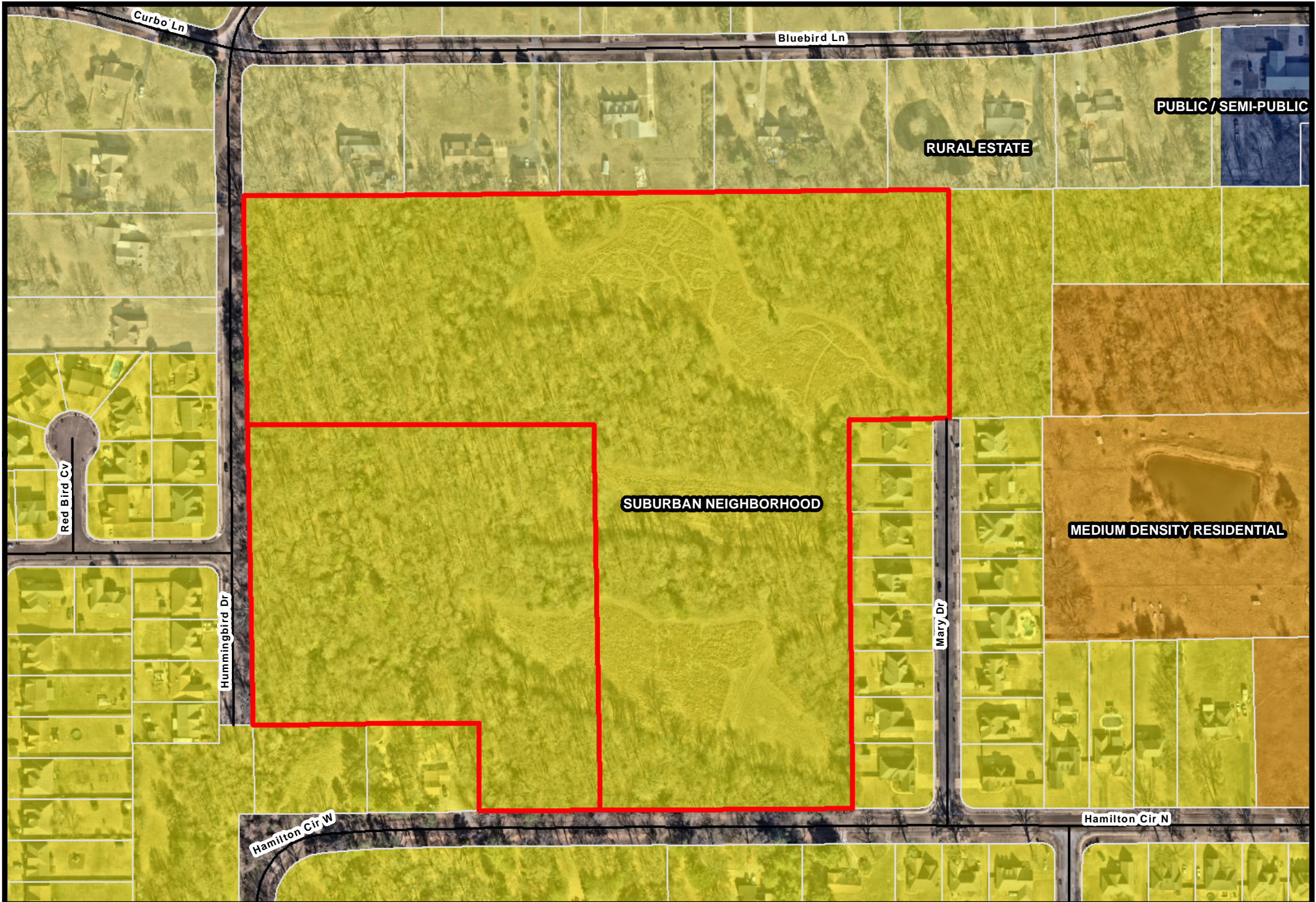


ZP25-0004

Zoning Map

1 inch = 225 feet

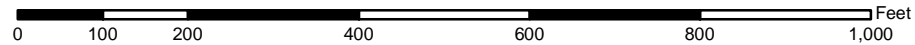


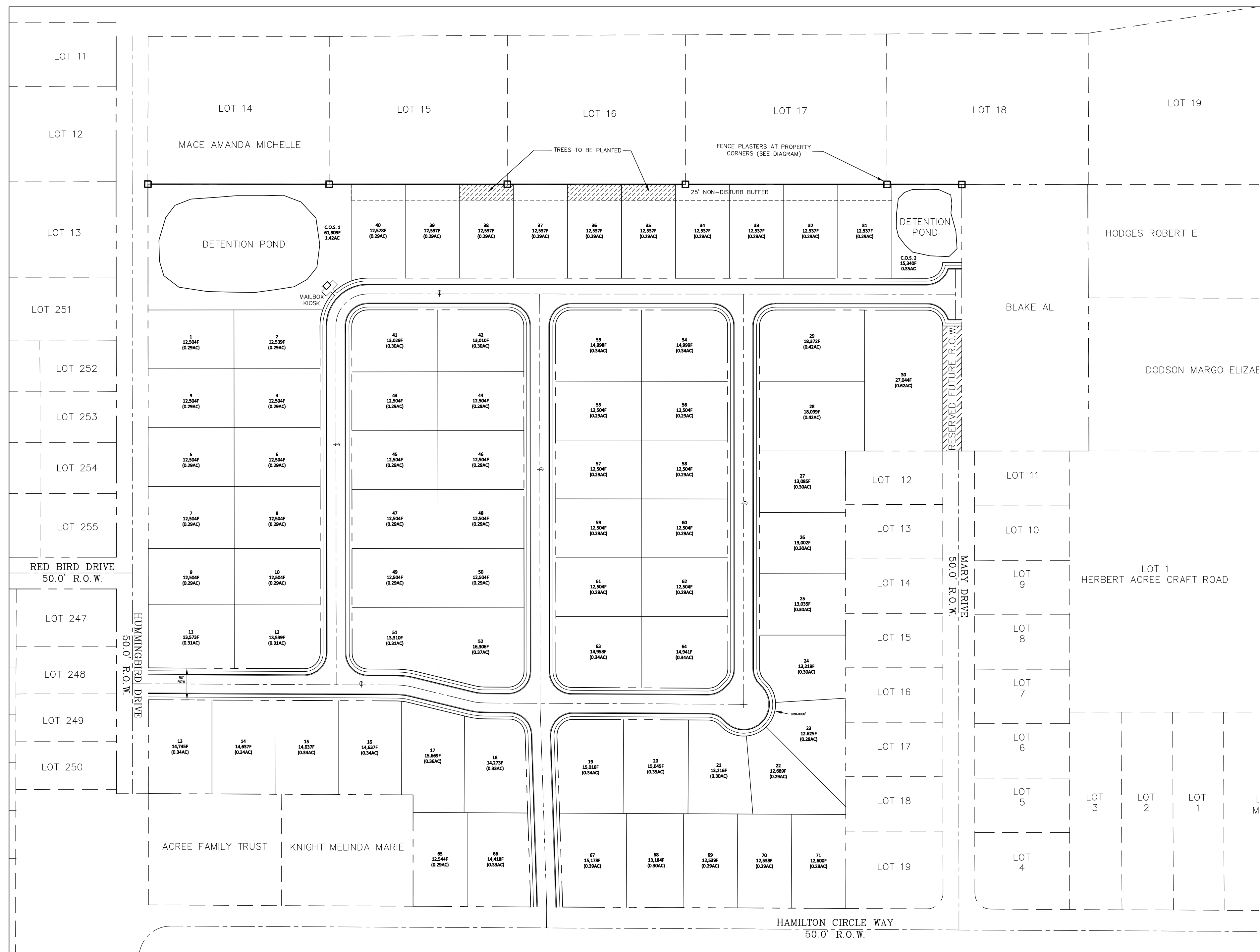


ZP25-0004

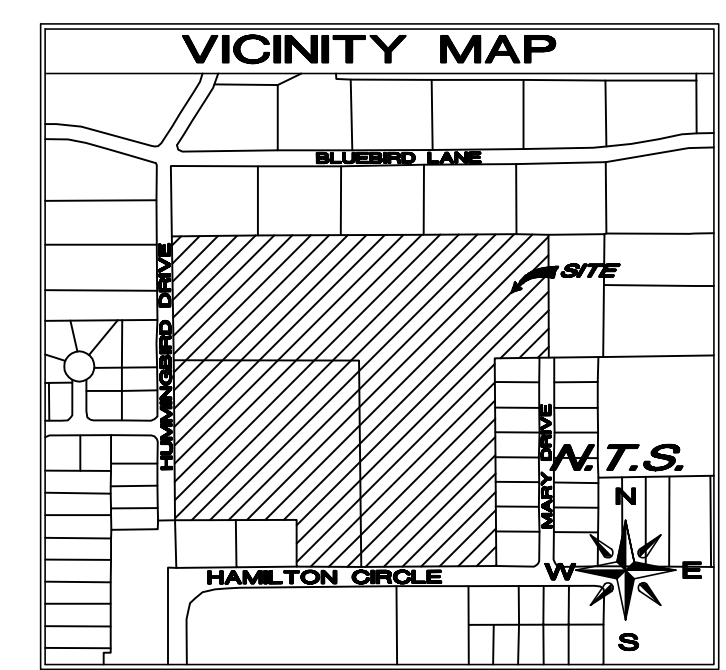
Future Land Use Map

1 inch = 225 feet





- NOTES:**
- FOR LOTS 1 THROUGH 71:
MINIMUM LOT SIZE 12,500 S.F.
MINIMUM SETBACKS ARE:
A. FRONT - 35'
B. SIDE - B' MIN. SUM OF 20'
C. REAR - 30'
 - UTILITY EASEMENTS ARE:
A. FRONT - 10'
B. REAR - 10'
C. SIDE - 5'
 - MINIMUM HOUSE SIZE OF 2000 HEATED SQ.F.
 - CENTRAL SEWER IMPROVEMENTS WILL BE INSTALLED AND MAINTAINED BY THE DEVELOPER UNTIL THE CITY OF OLIVE BRANCH ASSUMES OWNERSHIP.
 - WATER IMPROVEMENTS WILL BE INSTALLED AND MAINTAINED BY THE DEVELOPER UNTIL THE CITY OF OLIVE BRANCH ASSUMES OWNERSHIP.
 - THERE SHALL BE A HOA FORMED TO MAINTAIN ALL C.O.S. AND ALL THE FENCE ALONG THE N.P.L.

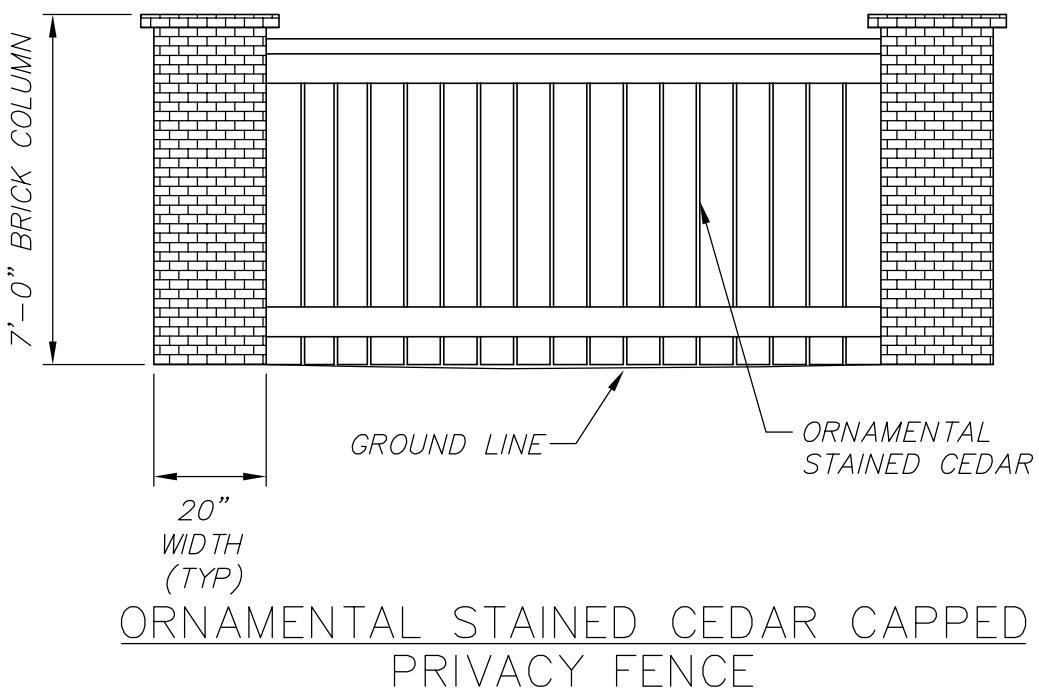
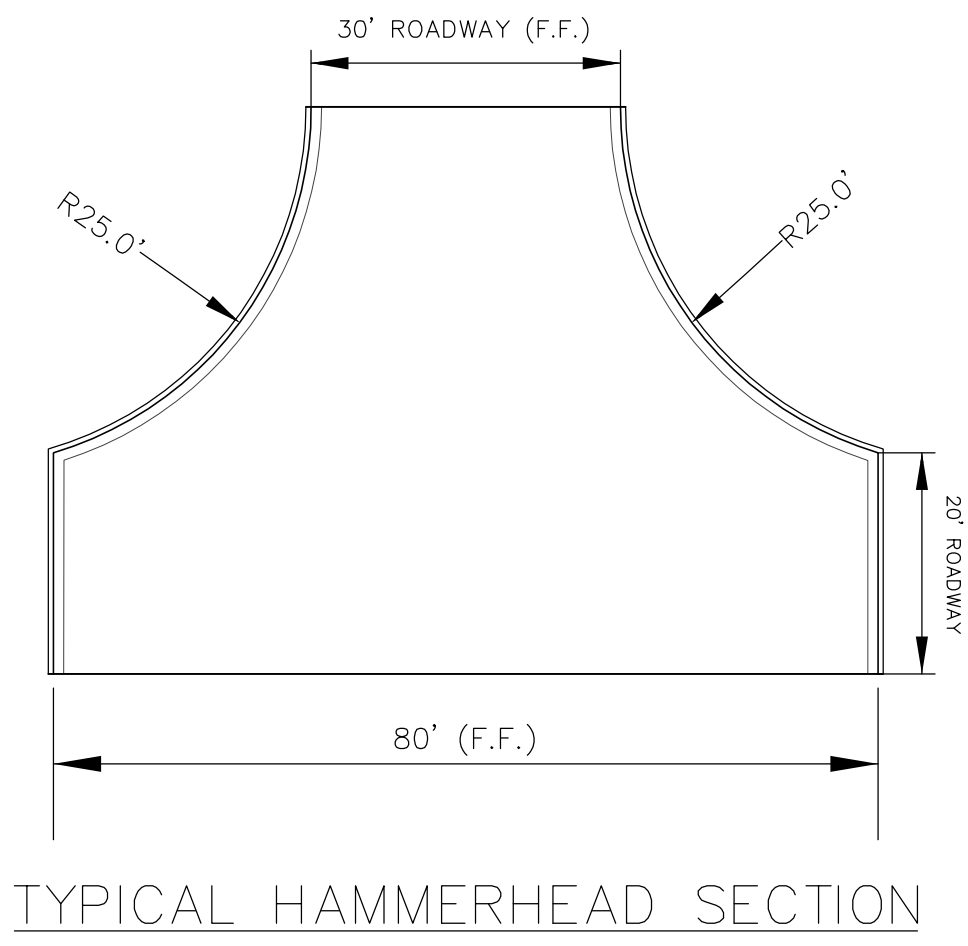
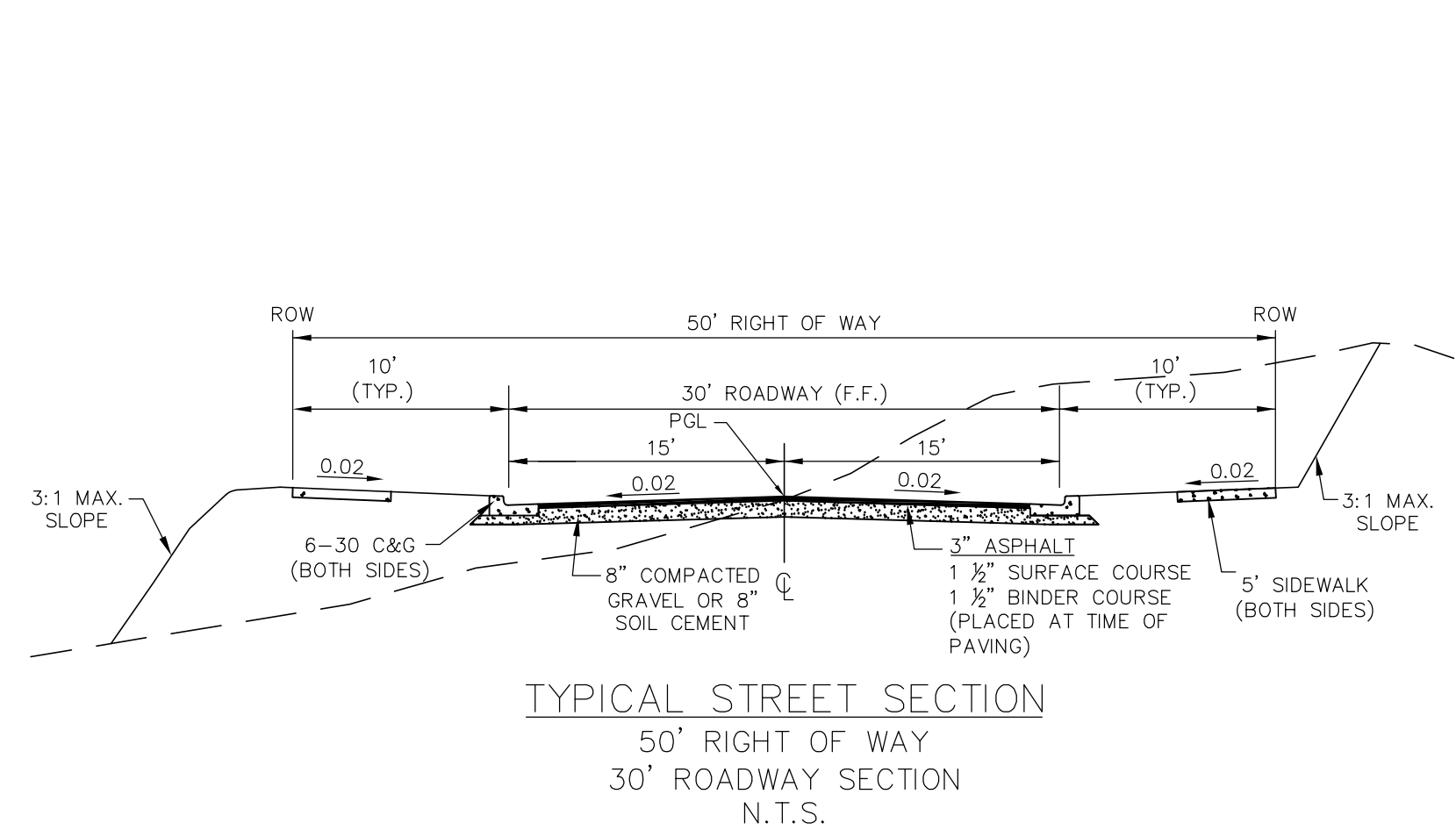
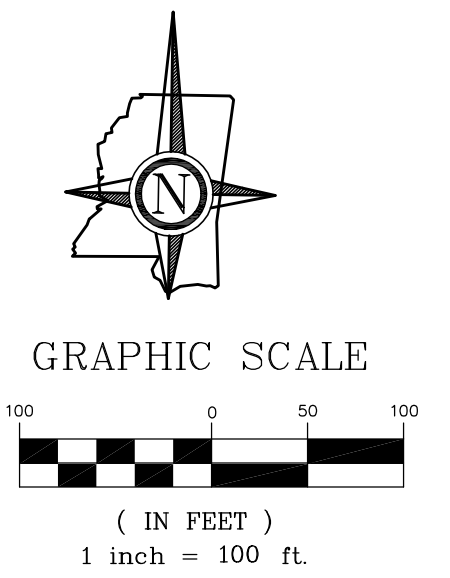


SPECIAL FLOOD HAZARD STATEMENT
 BY GRAPHIC DETERMINATION, THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA PER FEMA \ FIRM MAP NUMBER 28033C0101H, DESOTO COUNTY, MISSISSIPPI, EFFECTIVE DATE OF MAY 5, 2014.

**PRELIMINARY PLAT
 OF
 ACREE FARMS SUBDIVISION**

SECTION 30, T-1-S, R-6-W
 CITY OF OLIVE BRANCH
 DESOTO COUNTY, MISSISSIPPI
 SCALE: 1" = 100'
 MAY, 2025

ZONING: R-1
 TOTAL AREA: 28.59 ACRES
 TOTAL LOTS: 73 (71 BUILDABLE)
 OWNER/DEVELOPER: GARDEN STREET COMMUNITIES
 THE GRAPHIC SCALE SHOWN IS CORRECT FOR A PLAN SHEET OF 24 X 36. IF THE PLAN SHEET IS ANOTHER SIZE, PLEASE SCALE ACCORDINGLY



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 PH# (662) 993-3346 - FAX (662) 536-6183

REPORT TO THE PLANNING COMMISSION

CAPTION / SUBJECT: Application for a Preliminary Plat for Acree Farms Subdivision, submitted by Ben Smith, Smith Walker Engineering & Surveying, on behalf of property owner, Acree Family Trust. The request is to subdivide 28.59+/-acres into 71 single family lots and 2 common open spaces. There is a companion application requesting a rezoning from A-R, Agricultural-Residential District, to R-1, Single Family Residential District, for the purpose of a residential subdivision. The subject property is located at the northeast corner of Hamilton Circle N, and Hamilton Circle W, east of Hummingbird Drive. (File # SD25-0011).

- EXHIBITS:**
- 1) Aerial View Map
 - 2) Proposed Preliminary Plat for Acree Farms Subdivision
 - 3) Surrounding Utilities Map

EXECUTIVE SUMMARY



Ben Smith, Smith Walker Engineering & Surveying, on behalf of property owner, Acree Family Trust requests approval of the preliminary plat for Acree Farms Subdivision, which will consist of 71 detached single family residential lots, new streets, public utilities services extension, and stormwater management improvements. No recreational amenity is proposed. The two parcels to be developed for the subdivision

are both currently zoned A-R, Agricultural Residential. In an associated application, the owner of the properties requests rezoning of the properties to R-1, Single Family Residential District, which requires that lots be at least 12,500sq ft. large. Creation of the proposed lots would not include connection to Mary Dr. at this time, which would otherwise complete the extension of this road. Staff recommends approval subject to various conditions.

1. BACKGROUND

General Information	
Subject Property	Two un-platted parcels, namely, a ±19.89acres Parcel 106930010 0000400 (19.89ac) and a ±8.70acres Parcel 106930010 0000500.
Applicant	Ben Smith, Smith Walker Engineering & Surveying., represented by Ben Smith and Chance Walker.
Applicant's Status	Design Engineers and Representative of Property Owner, Acree Family Trust.
Current Zoning of Property	A-R, Agricultural Residential An associated application (ZP25-0004) proposes rezoning of the subject property to R-1, Single Family Residential.
Requested Action	Approve Preliminary Plat for Acree Farms Subdivision. The plat is designed in accordance with the R-1 Zoning District requirements.
Purpose	Potentially create 71 detached single family residential lots, new streets, public utilities services extension, and two common open spaces for stormwater management.
Location	East of Hummingbird Dr., north of Hamilton Cir. W., west of houses along Mary Dr., and south of houses along Blue Bird Ln.
Size of land to be subdivided	± 28.59 acres
Proposed Minimum House Size	2,000sq ft of heated area
Existing Land Use	Vacant
Future Land Use Designation	Suburban Neighborhood
Applicable Review Regulations	Zoning Ordinance, Subdivision Regulations, Fire Code, and other land use development regulations of the City as may be applicable.

2. ANALYSIS

2.1. Zoning

The subject two parcels are both currently zoned A-R, Agricultural Residential. This district requires lots to be minimum one (1) acre. The applicant has submitted an accompanying rezoning application (File #ZP25-0004), requesting the rezoning of both parcels to R-1, Single Family Residential District, which requires minimum 12,500sq ft lots, with at least 85ft width at building setback line. The preliminary plat would have to meet these bulk requirements if the rezoning were approved by the Board of Aldermen.

The proposed gross density of the subdivision is 2.48 dwelling units per acre (du/ac). The R-1 Zoning District permits a maximum density of 3.5du/ac.

A 6ft high cedar fence with brick columns is proposed across the northerly property line to buffer the proposed subdivision from the adjoining Blue Birds Estates subdivision. A 25ft non-disturb buffer is proposed within the lots that would adjoin this fence. Where the land has been cleared, supplementary trees will be planted to enhance this buffer.

2.2. Subdivision Infrastructure

2.3.1. Utilities

There are 8" sewer lines along Hummingbird Dr., Hamilton Cir. N., and Mary Dr. There are also water lines along these streets. There are gas lines along Hamilton Cir. N. and Mary Dr. The developer shall construct new public water, gas, and sewer lines and extend all other utilities as necessary to service each proposed lot. Two stormwater detention ponds are proposed at the northeast and northwest corners of the subject property for the management of stormwater flow that the development would generate. The City's stormwater management regulations require that post-construction stormwater discharge from the site cannot exceed pre-construction state or status. Full sets of subdivision construction plans shall be submitted to the City Engineer and planning staff for review and approval.

2.3.2. Transportation

The suggested new street into the subdivision from Hummingbird Dr is proposed to be offset from Red Bird Dr. to slow traffic traversing Ivy Trail Subdivision to the west and the subject development. All streets to service the proposed lots would be designed to local street standard with curb, gutter, and sidewalks on both sides of each new street, in a 50ft public right-of-way that will be established in the final plat. It is worth highlighting that unless required otherwise, the developer would only construct sidewalks on the eastern side of Hummingbird Dr. that adjoins the subject property.

The current subdivision design excludes the extension and interconnection of Mary Dr. into the prospective subdivision. The developer proposes dedicating 25ft wide area of the subject property for the extension of this road northward in future. A portion of the ±1.9ac property owned by Al

Blake to the west would be required to make this connection as shown in Figure 1 below. With lots proposed in the entire ± 28.59 ac at this time, it can be asserted rationally that there would be little to no economic incentive in future for the applicant developer to extend Mary Dr. northward. A partial 50ft radius area, measured from the center of Mary Dr. can be reserved on potential Lot 30 for the construction of a public turnaround at the end of this road in future.

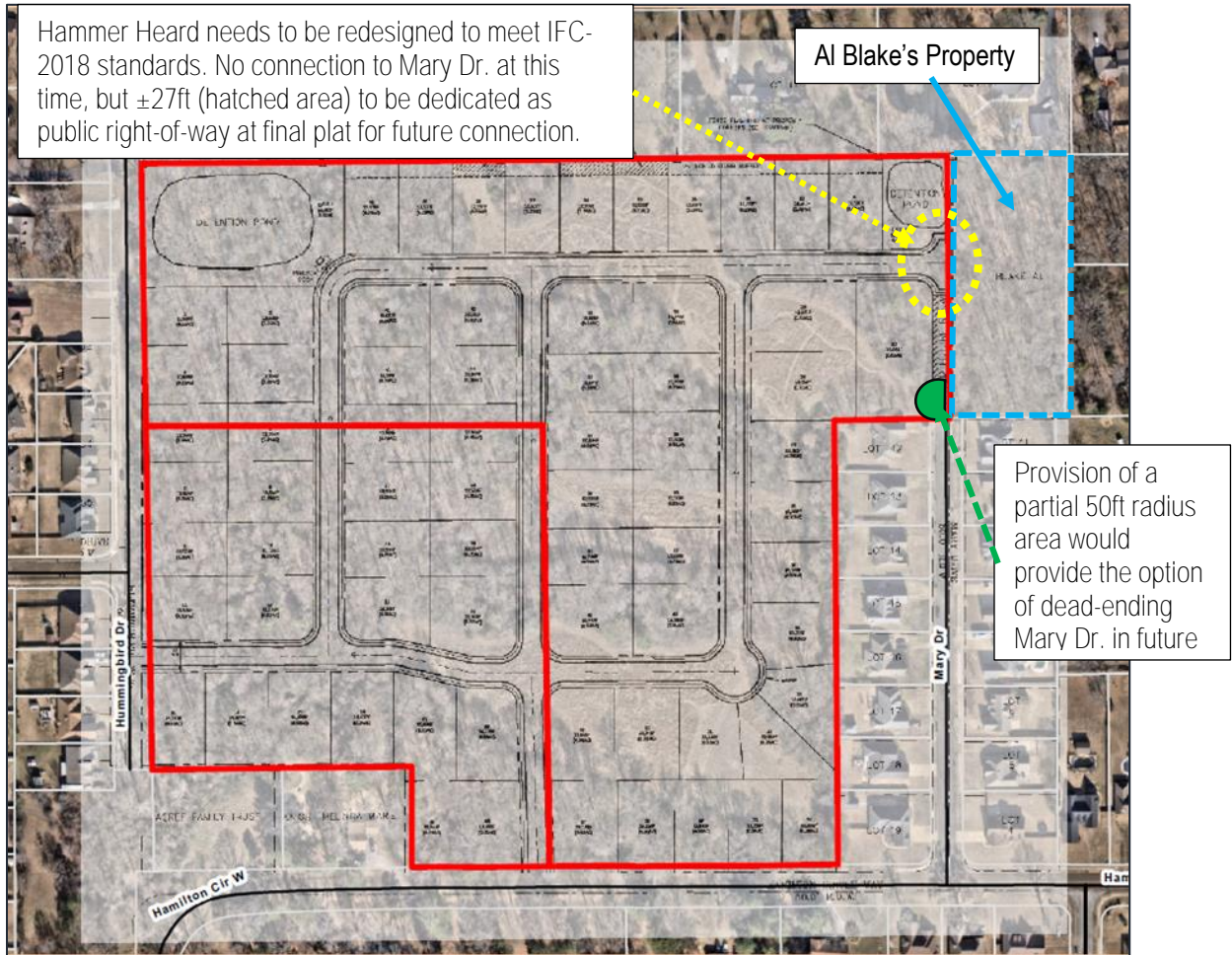


Figure 1: Proposed Streets Layout

A new street would stub into the Blake’s property in a hammer head design that is only 80ft deep. The International Fire Code 2018 (IFC-2018) adopted by the City requires a hammer head street design to be 120ft deep. To avoid creating more half-built streets with less likelihood of their completion in future, the applicant needs to revise the subdivision plat to provide a fully curbed, complete hammer head turn-around design that meets this IFC-2018 standards.

2.3.3. Amenities

No subdivision amenity is proposed for the 71 lots. The U.S. Census data collected from 2019 to 2023 indicates that there is an average of 2.73 person per household in Olive Branch. This suggests that there would be over 194 persons living in this subdivision – without a common recreational amenity.

3. NEXT STEPS


Upon recommendation by the Planning Commission, the preliminary plat will be presented to the Board of Aldermen for approval. City regulations allow the subdivider, upon the approval of the City Engineer, to proceed with the construction of any required improvements, including utilities, the roads, recreational infrastructure (if required), and any applicable stormwater management measures needed to service the new lots. A final plat would need to be recommended by the Planning Commission, approved by the Board of Aldermen, and recorded before building permits can be issued for the construction of permitted uses on any of the lots.

4. STAFF RECOMMENDATION


Staff recommends that the Planning Commission approve the preliminary plat for Acree Farms Subdivision and recommend same to the Board of Aldermen subject to the following:

1. The Board of Aldermen rezones the subject property from A-R, Agricultural Residential to R-1, Single Family Residential District.
2. Improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
3. The developer shall submit civil construction plans for grading, stormwater management, utilities, streetlights, road construction, and other recreational infrastructure (if applicable), and all other subdivision infrastructure to the City Engineer and the Director of Planning and Development or designee for approval.
4. The developer shall revise the preliminary plat to provide a fully curbed hammer head street design that meets the International Fire Code – 2018 standard before the plat is presented to the Board of Aldermen.
5. Provide a partial 50ft radius area, measured from the centerline of Mary Dr. for the possible construction of a public turn around at the end of this road in future.
6. One 2" - 2½" caliper deciduous tree shall be planted in the front yard of each home prior to use and occupancy of the house. Two trees shall be planted for corner lots or lots with 80' of road frontage.
7. Two car garages shall be included in the construction of all single-family homes.
8. All lots shall be side or rear loaded.
9. Revise the preliminary plat to provide at least one common recreational amenity area in the subdivision.
10. All sides of roofs shall include at least two vertical roof plane breaks, changes in ridge height, or other forms of articulation (e.g., offsets in parapets) to break up the roofline and add visual interest that aligns with the roof character of other existing houses in the area.

11. Homes shall be a minimum of 2,000sq ft of heated area and a minimum 75% masonry-type construction (brick and/or stone) on all sides.
12. The developer shall install any and all applicable drainage pipe, erosion control material, water mains, sewer, fire hydrants and service, streetlights, and gravel or soil cement base and asphalt for the access road, recreational facilities, and subdivision signs. If the developer wishes to record the final plat before completion of all required public and common infrastructure, the following minimum improvements must have been completed: all proposed roads must be graded, have the appropriate gravel or soil cement base and binder, and water, sewer, and drainage improvements must be in place. Upon the completion of these minimum improvements, the developer may provide a performance guarantee in an amount set by the City Engineer to the City for the completion of remaining required subdivision infrastructure prior to recording the plat to ensure the installation of all of the improvements.
13. All utilities and services (electric, telephone, cable, etc.) shall be installed underground. The water service lines shall be installed with tracing wire at the top.
14. At final plat submittal, the developer shall submit for concurrent review draft Declaration of Covenants Conditions & Restrictions for the Homeowners Association, which shall include provisions for the management of all Common Open Space areas.

STAFF REPORT PREPARED BY: Venard Asongayi, CFM, AICP, DPA  **DATE:** 07/01/2025

MOTION BY: _____ **SECOND BY:** _____

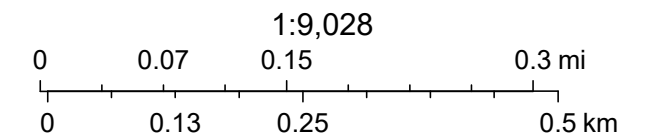
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	YES	_____	_____	_____	_____	_____	_____	_____
	NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____	_____

AERIAL VIEW OF SUBJECT PROPERTY

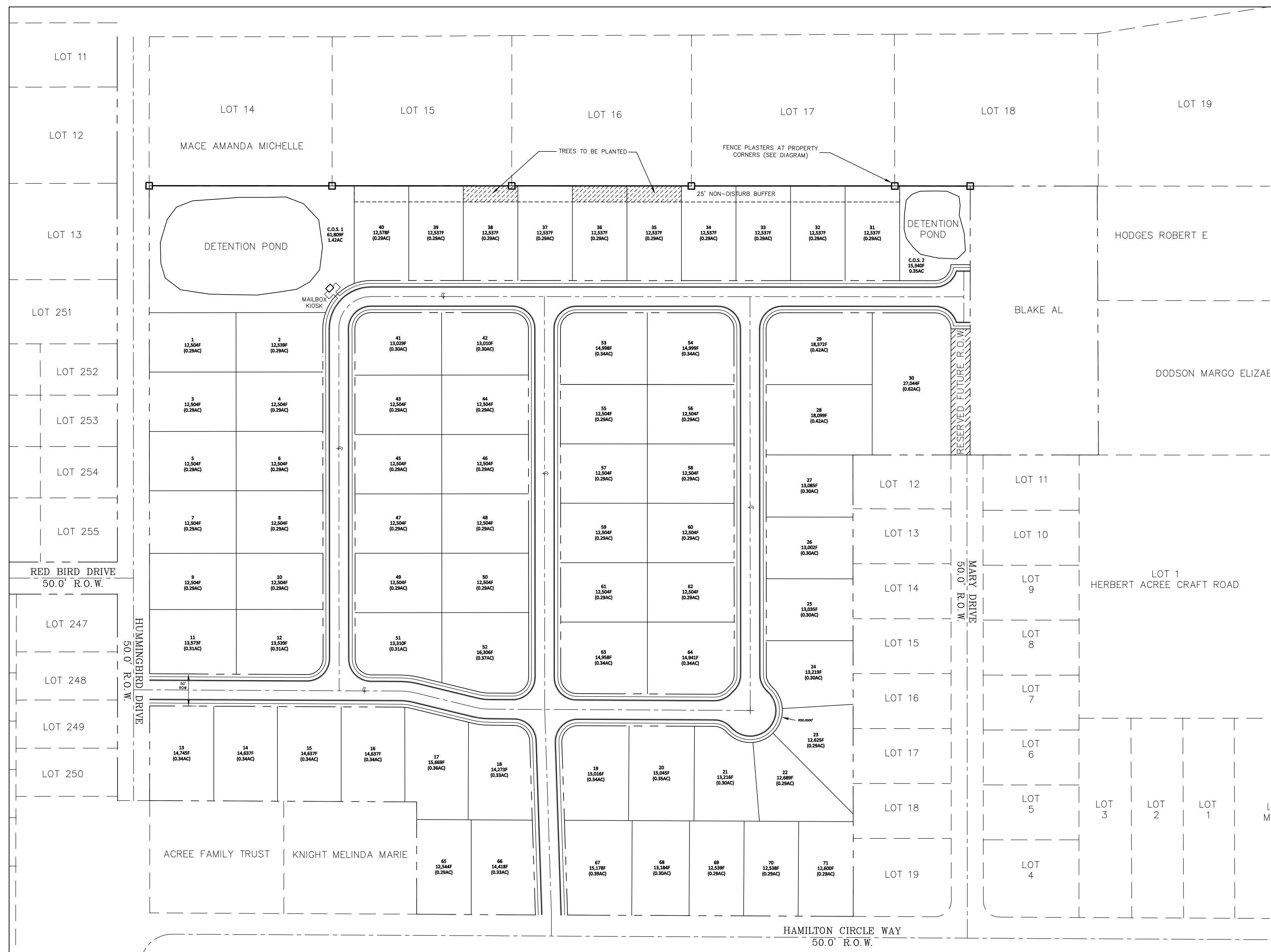


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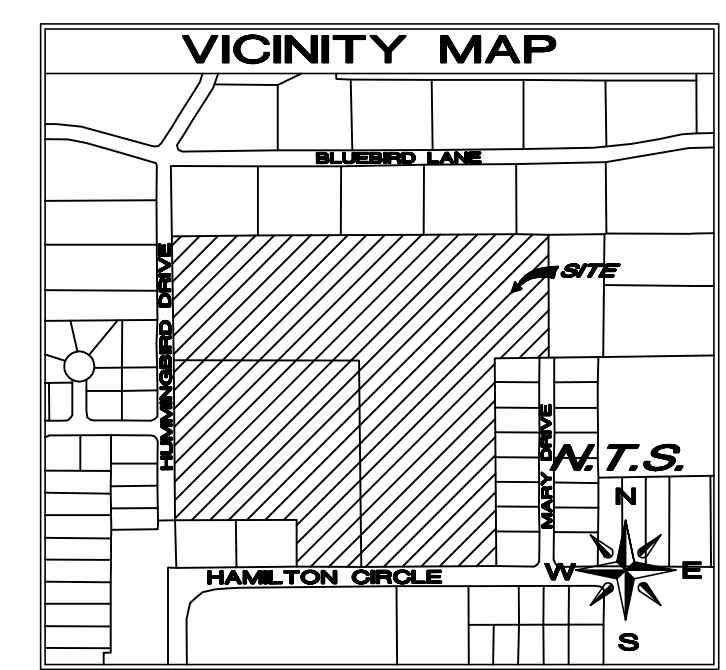
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- Tax Parcels
- Roads
- US Highways
- Local
- Ramp



Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



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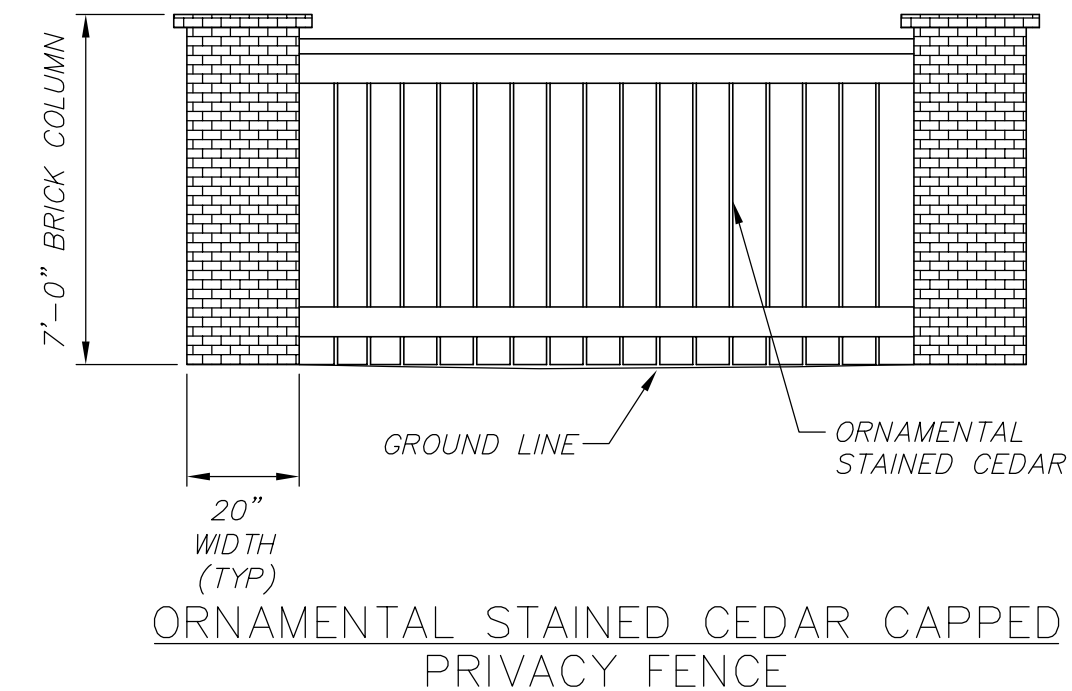
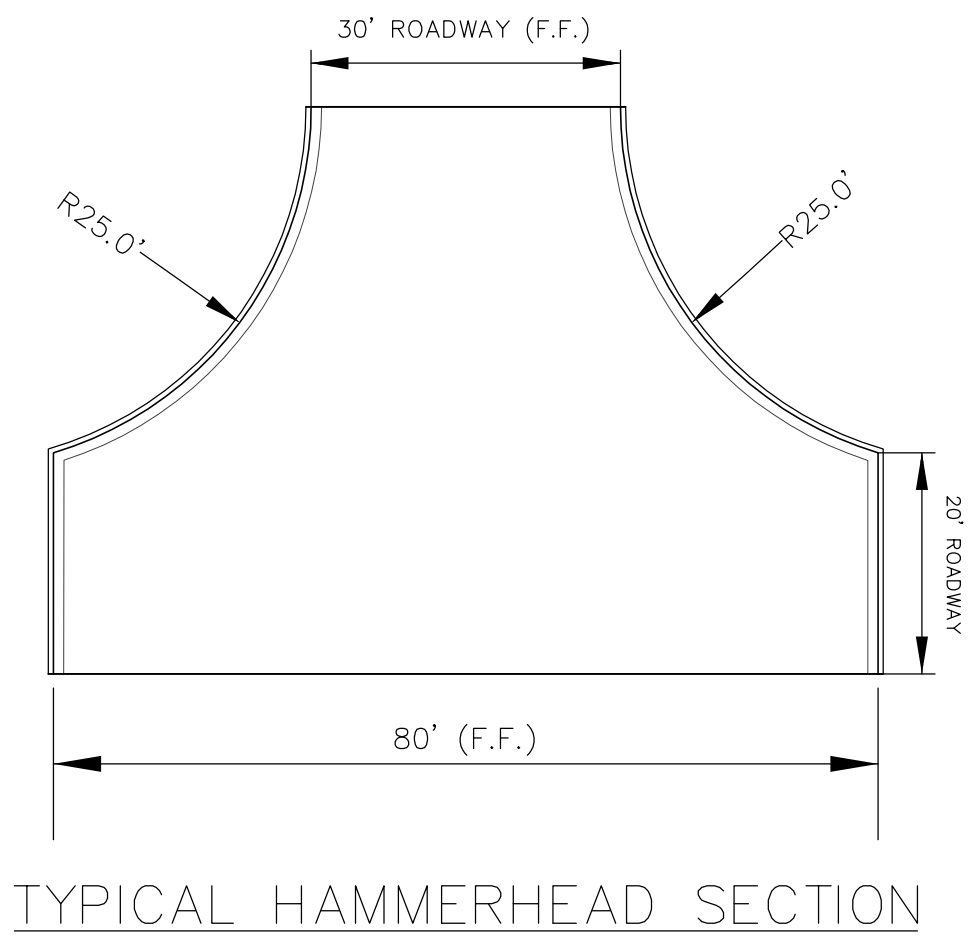
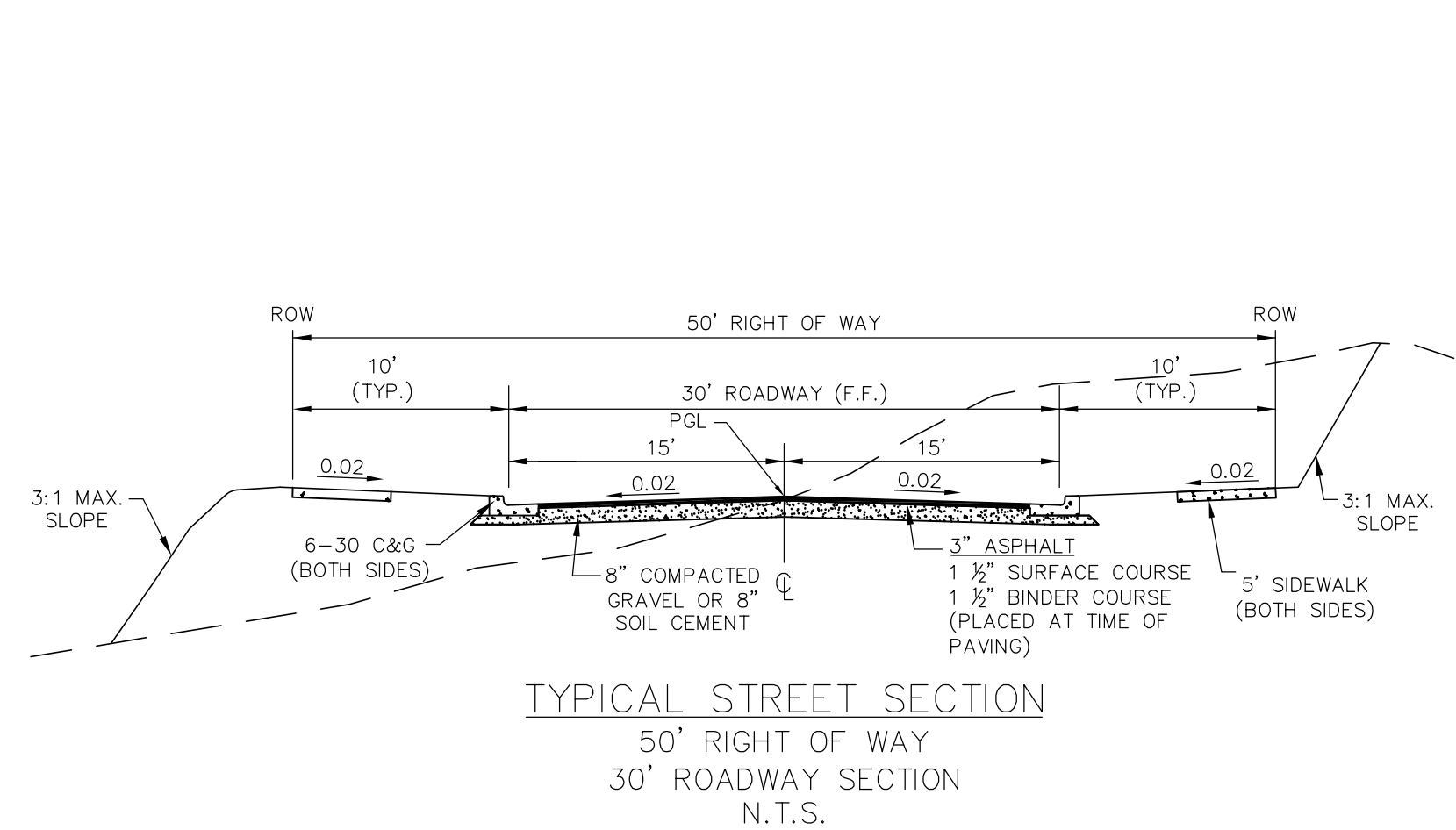
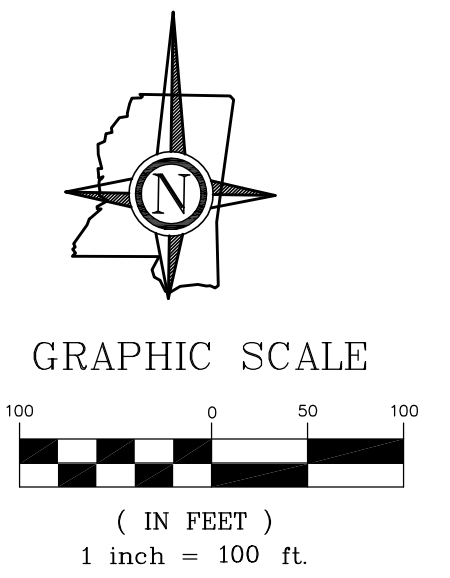


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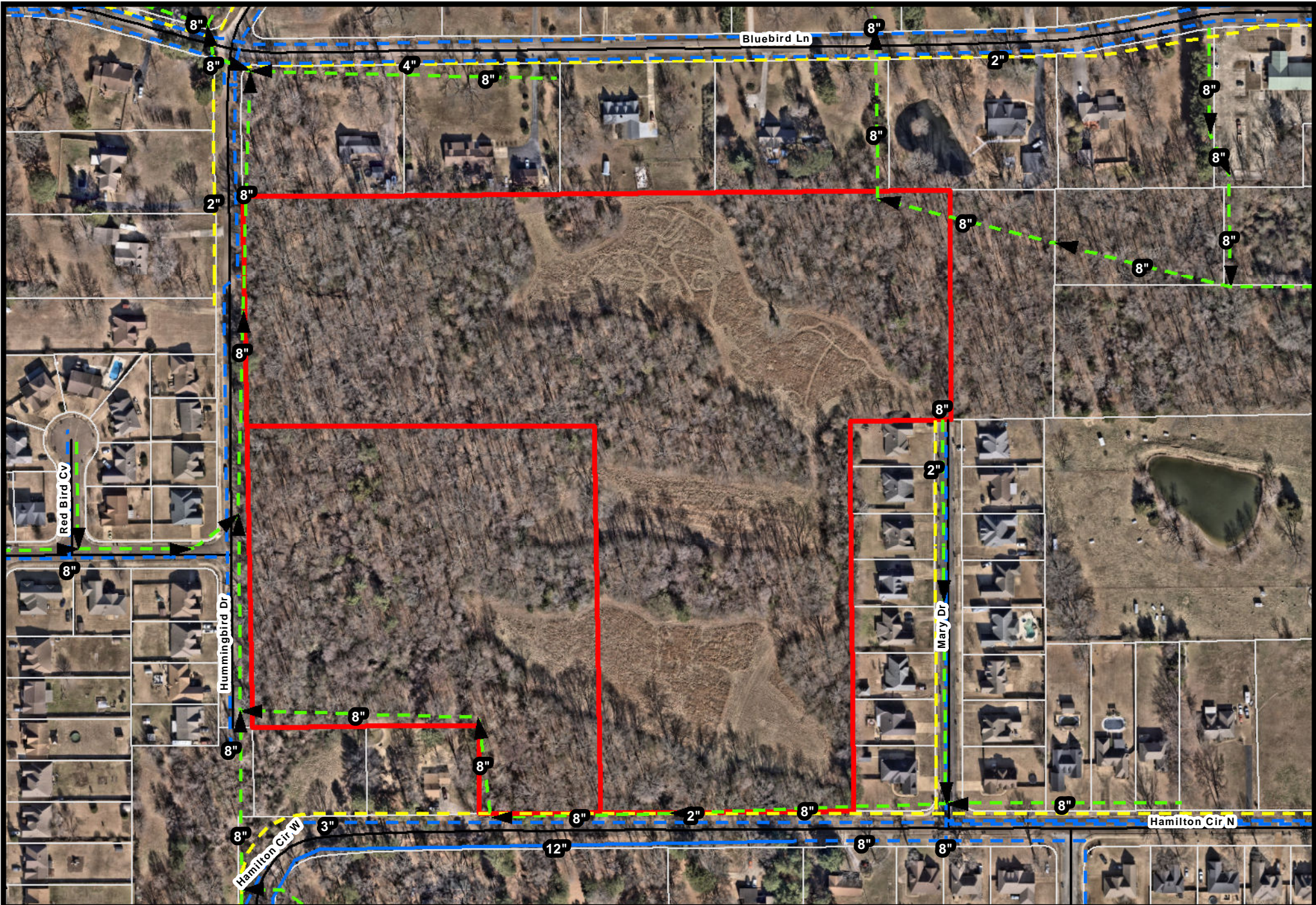
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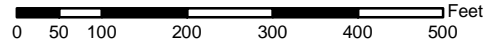


ZP25-0004

Utilities Map

- | | | |
|------------------|--------------|------------|
| MANHOLE | HYDRANTS | GAS VALVES |
| SEWER GRAVITY | WATER VALVES | GAS MAIN |
| SEWER FORCE MAIN | WATER MAIN | |

1 inch = 225 feet



REPORT TO THE PLANNING COMMISSION

CAPTION / SUBJECT: Application for a Zoning Map Amendment, submitted by Andy Richardson, R&H Engineering & Surveying, LLC, on behalf of Sunset Creek Farms, LLC, Kevin Bynum, property owner. The request is to rezone from A-R, Agricultural-Residential District, to R-1, Single-Family Residential District. The subject 0.92+/-acre property is at the northeast corner of Hamilton Cir N and Hamilton Cir W, known as 6602 Hamilton Cir N. The property is intended to be used for detached single family housing (File # ZP25-0006).

- EXHIBITS:**
1. Applicant Letter of Request
 2. Aerial View Map
 3. Current Zoning Map
 4. Future Land Use Map

EXECUTIVE SUMMARY: The applicant, Andy Richardson, R&H Engineering, on behalf of Sunset Creek Farms, LLC has submitted for consideration a rezoning request to rezone from AR Agricultural Residential to R-1 Single Family Residential District upon a proposed 0.92 ± property known as 6602 Hamilton Cir N. This application has been submitted in concurrence with a Final Plat application (SD25-0019). The required minimum lot area requirement is 12,500 sf in the proposed R-1 zoning district. The proposed lot area of 40,075 sf meets the minimum area requirement for the R-1 zoning district. Surrounding zoning districts are AR Agricultural Residential, R-3 Planned Residential, and PUD Planned Unit Development. The application meets the rezoning criteria regarding change in character of the area and public need and is recommended for approval.

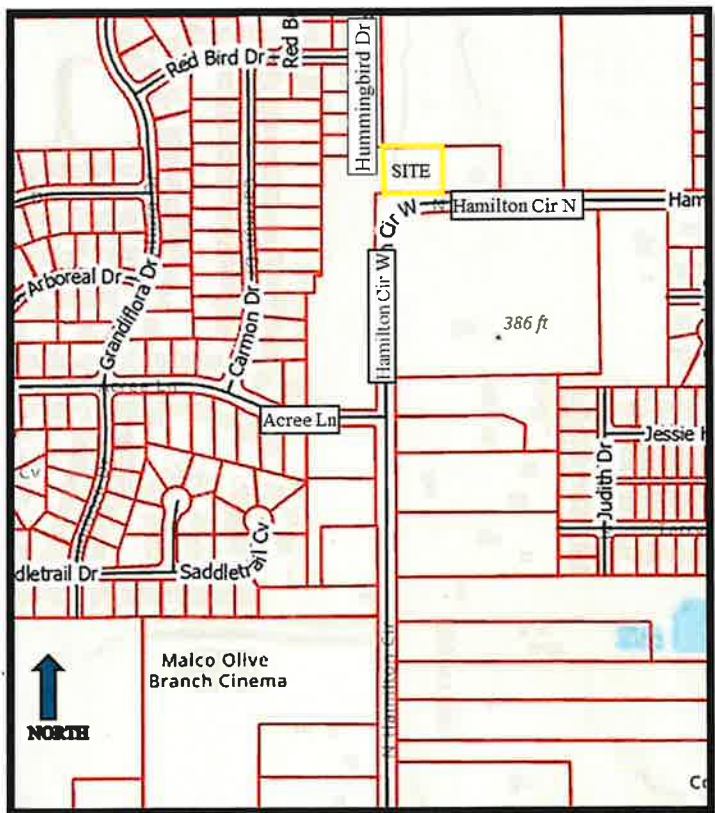


Fig. 1: Vicinity Parcels

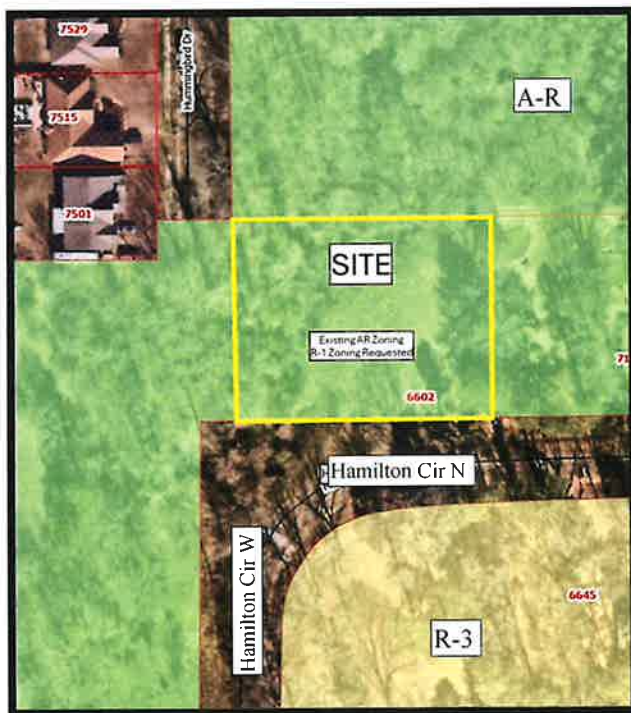


Fig. 2: Subject Property and Immediate Surrounding Zoning

1. BACKGROUND:

General Information			
Applicant	Andy Richardson, P.E; P.L.S. Engineer and Surveyor for Sunset Creek Farms, LLC (Property Owner)		
Applicant's Status	Agent Representative of Property Owner		
Current Zoning of Property	AR, Agricultural Residential		
Requested Action	Approve the rezoning of proposed Lot 1 from AR Agricultural Residential to R-1 Single-Family Residential		
Purpose	Create a conforming lot within the R-1 zoning district to construct a residence		
Location	North of the intersection of Hamilton Cir W and Hamilton Cir N		
Size of Parent Parcel	± 0.92 acres		
Existing Land Use	Vacant		
Surrounding Zoning and Land Use	<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>
	North	AR (proposed in another application (ZP25-0004) to rezone to R-1	Vacant
	East	AR (proposed in another application () to rezone to R-1	Single Family Residential
	South	R-3	Single-Family Residential
	West	AR	Vacant
Future Land Use Designation	<p>Suburban Neighborhood</p> <p>Character: "Suburban neighborhoods have lot sizes ranging from 6,000 sq. ft. to 30,000 sq. ft., with most in the 12,000 – 15,000 sq. ft. range. These subdivisions generally have urban roadway sections (curb, gutter and sidewalks). However, there are a number of older single-family subdivisions constructed before sidewalks were required and a number of newer planned developments that were permitted to develop with rural roadway sections (open swales, no curb or sidewalks)."</p>		
Applicable Regulations	Zoning Ordinance, Subdivision Regulations, and other land use regulations of the City where applicable		

The lot area does not conform to the minimum lot area of at least 1 ac for AR zoned properties. To conform with the minimum lot area requirements, the property must be rezoned to a district where the lot size would meet the minimum area requirement. Annexation history shows the City of Olive Branch annexed this property in 1990. An affidavit of posting has been filed as well as photographic documentation of the public-notification sign installation.

2. ANALYSIS:

2.1. Zoning (Proposed R-1)

Item	Prop. Zoning Requirement	Proposed Lots
Minimum Lot Size	12,5000 sf minimum	+ 0.92 ac
Front Setback	35 ft	The proposed Lot 1 will have a 35 ft front yard setback, which meets the required minimum
Side Setback	8 ft minimum (20 ft total)	Future buildings will have to meet the minimum side yard setback requirement. A side setback of 10 ft is proposed
Rear Setback	30 ft	Future buildings will have to meet the minimum rear yard setback requirement. The proposed Lot 1 would have a 30 ft front yard setback, which would meet the required minimum rear setback
Minimum width at building setback line	85 ft	The proposed Lot 1 will have a minimum width at the building line of 194 ft, which meets the required minimum
Maximum Density	3.5 dwelling units per ac	The proposed Lot 1 will have a density of 1 unit per ac which meets the required minimum

ANALYSIS: The criteria used to evaluate a rezoning are listed below:

1. The original zoning classification for the property was a mistake

Applicant's Submission: The existing AR zoning designation that has been previously applied to this parcel was a mistake. AR zoned properties are required to be a minimum of 1.0 acres in size. This parcel has been less than an acre for many years and thus due to the surrounding residential nature of the surrounding area should have been zoned R-1.

Staff Finding: There is no mistake in the meaning of the law regarding rezoning in Mississippi. The property was annexed in 1990 and has not been rezoned since then.

2. The character of the neighborhood has changed to such an extent to justify the proposed rezoning; (If the proposed zoning classification does not conform to the City's General Development Plan, the applicant shall be required to offer proof with regard to what major economic, zoning, physical, or social changes, if any, have occurred in the vicinity of the property in question, which were not anticipated by the General Development Plan, and which have altered the basic character of the area, to make the amendment appropriate.)

Applicant's Submission: This area in general would have been considered rural until higher density housing developments began to spring up in the area in the early 2000's. The character of the

surrounding area has changed in the last 25 years. There are now currently several existing or proposed developments within a half mile of the subject property that are zoned R-1, R-2, R-3 or PUD with similarly sized lots. The applicant is proposing to rezone the subject property to R-1 zoning to fit into the similar property sizes that are being developed within the half mile area of the property and to have the ability to construct a house on the lot.

Staff Finding: Single-family neighborhood development has occurred in the area upon vacant properties. The Applicant's letter (Exhibit 1) discusses the character change of the surrounding area within the last 25 years. The Ivy Trails PUD, Hamilton Place, Hamilton Place Ph. 2, and Hamilton Circle have all been approved within the last 25 years, all having lots that are less than 1 acre in size, mostly between 12,000 sq ft and 30,000 sq ft. Thus, the character of the area has changed over the years from agricultural/agricultural residential to suburban neighborhood.

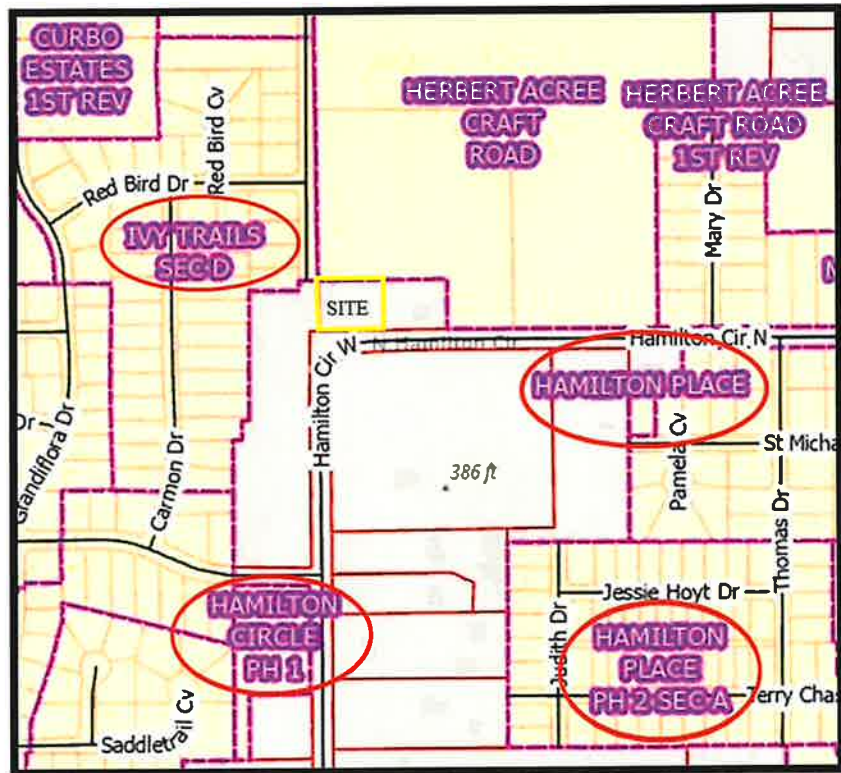


Fig. 3: ○ Recently Approved Subdivisions

3. A public need exists for the rezoning.

Applicant's Submission: The applicant avows that “There is an existing public need for the rezoning of this property. With most of the lots in the surrounding developments already being sold and built out, the demand for homes is high in this community. This community's convenient location to shopping centers, entertainment, golf courses, and schools has made it a very desirable location for people to want to live.”

Staff Finding: Olive Branch has seen exponential growth in recent years. Thus, the housing stock needs to increase to accommodate the population surge. The Future Land Use map designates the subject property as “Suburban Neighborhood”, with single-family residential as the predominant land use. The property is located near many new residential neighborhoods in the Hamilton Cir area with

detached single-family being the dominant housing type. From a planning perspective, a single-family residential parcel most aligns with the character of the area to satisfy the public need for the ever-growing housing market that Olive Branch has seen recently.

The Future Land Use Map in the Comprehensive Plan 2040, which articulates the City’s land-use public need policies, designates the property in its entirety as Suburban Neighborhood. Olive Branch has seen population growth in recent years. The proposed construction of new single-family housing in the City, implies a response by the development community and the City to address the public need for a housing stock volume meeting the needs of future City residents.

NEXT STEPS: This application will move forward to the Board of Aldermen for a final decision on the rezoning. If the property were to be rezoned and the accompanying subdivision application (SD25-0019) are approved, the next step in the development process would be for the applicant to file permits for construction.

RECOMMENDED MOTION: Based on the finding that the proposed rezoning meets the rezoning criteria and does conform to the 2040 Comprehensive Plan, it is recommended by Staff that the Planning Commission recommend approval to rezone the proposed 0.92 +/- acre Lot 1, located at 6602 Hamilton Cir W from AR Agricultural Residential to R-1 Single-Family Residential of the Ansley Point Subdivision.

CHECKED FOR SUBMISSION TO THE COMMISSION BY: Asong [Signature] DATE: 7/03/2025

MOTION BY: _____ SECOND BY: _____

VOTE	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____

Andrew Richardson, P.E., P.S.
R & H Engineering and Surveying, LLC
231 W. Center Street
Hernando, MS 38632
901-605-1739
andy@rhengineering.net

June 12, 2025

Re: Solo One Lot Subdivision

To Whom It May Concern,

The applicant would like your consideration in allowing property located at 6602 Hamilton Circle N. that is owned by Sunset Creek Farms, LLC (Parcel No. 106930000 0002200) to be re-zoned from the existing AR zoning designation to the proposed R-1 zoning designation. The property of interest is 0.92 acres in size and sits on the northern side of Hamilton Circle N. and is roughly a half mile north of MS 302 and a half mile west of Craft Road. A house existed on the subject property from the 1950's until it was demolished sometime between August of 2011 and October of 2013.

The existing AR zoning designation that has been previously applied to this parcel was a mistake. AR zoned properties are required to be a minimum of 1.0 acres in size. This parcel has been less than an acre for many years and thus due to the surrounding residential nature of the surrounding area should have been zoned R-1. Also, this area in general would have been considered rural until higher density housing developments began to spring up in the area in the early 2000's. The character of the surrounding area has changed in the last 25 years. There are now currently several existing or proposed developments within a half mile of the subject property that are zoned R-1, R-2, R-3 or PUD with similarly sized lots. The applicant is proposing to rezone the subject property to R-1 zoning to fit into the similar property sizes that are being developed within the half mile area of the property and to have the ability to construct a house on the lot.

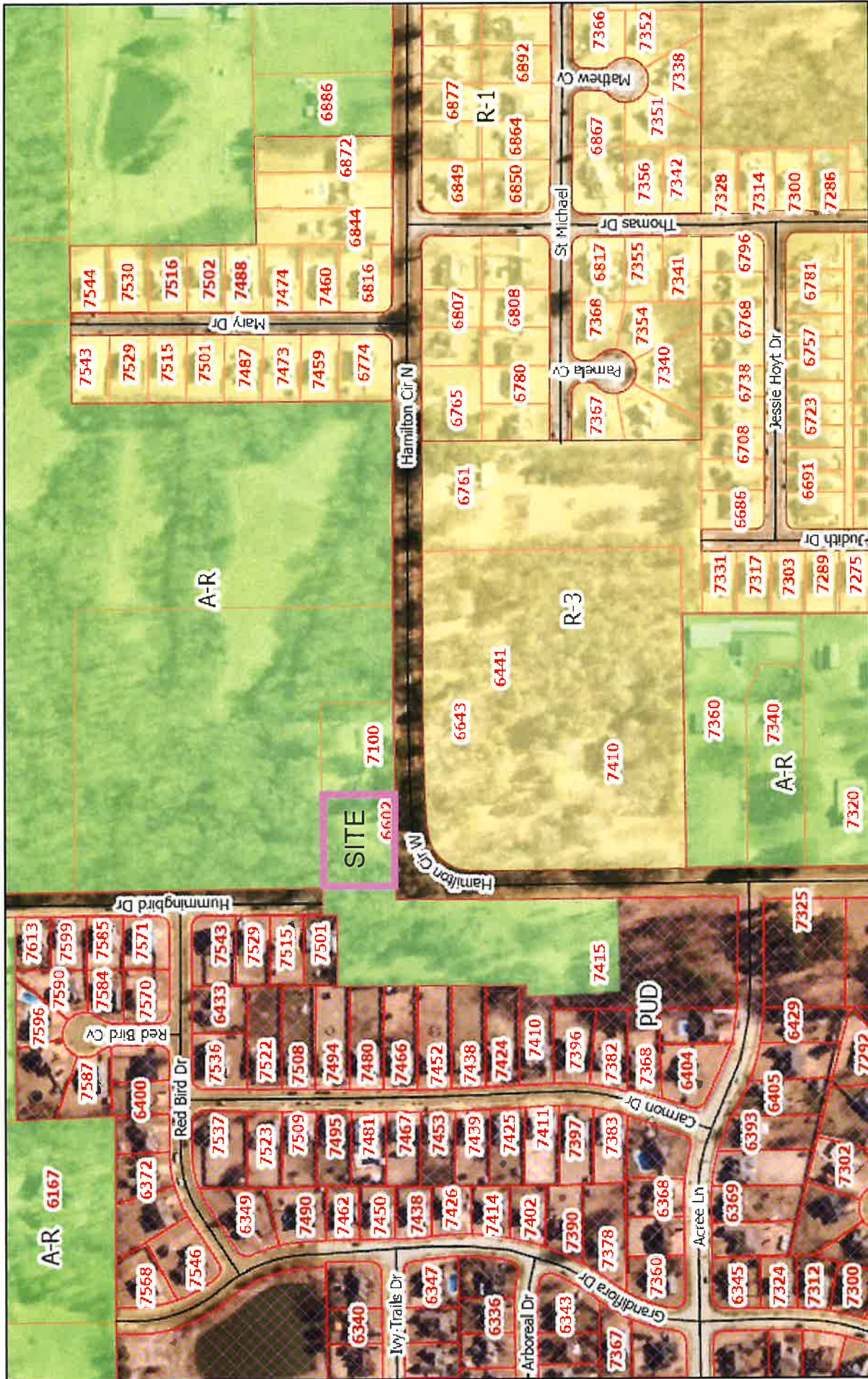
There is an existing public need for the rezoning of this property. With most of the lots in the surrounding developments already being sold and built out, the demand for homes is high in this community. This community's convenient location to shopping centers, entertainment, golf courses, and schools has made it a very desirable location for people to want to live. Granting this property re-zoning will allow the property owner to construct a new home on this property. If any further information is needed, please do not hesitate to contact me at 901-605-1739 or andy@rhengineering.net or the applicant, Kevin Bynum of Sunset Creek Farms, LLC at 901-268-1229 or kevinb@buildprestige.com.

Sincerely,



Andrew Richardson, P.E., P.S.
R & H Engineering and Surveying, LLC

CURRENT ZONING MAP



7/11/2025, 3:24:04 PM

Zoning

- R-1
- A-R
- PUD

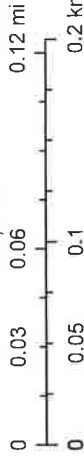
Addresses <all other values>

Tax Parcels

Roads

Local

1:4,514



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community. Sources: Esri, Maxar, Airbus DS, City of Olive Branch

Disclaimer: The City of Olive Branch, its employees, agents and personnel, MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR A PARTICULAR PURPOSE, OR ANY OTHER WARRANTY WHETHER EXPRESS OR

REPORT TO THE PLANNING COMMISSION

CAPTION / SUBJECT: Application for a Final Plat for Ansley Point Subdivision, submitted by Andy Richardson, R&H Engineering & Surveying, LLC, on behalf of Sunset Creek Farms, LLC, Kevin Bynum, property owner. The request is to create a single residential lot of 0.92+/- acres. There is an accompanying application asking to rezone from A-R, Agricultural-Residential District, to R-1, Single-Family Residential District. The subject 0.92+/-acre property is at the northeast corner of Hamilton Cir N and Hamilton Cir W, known as 6602 Hamilton Cir N. (File # SD025-0019)

- EXHIBITS:**
1. Final Plat
 2. Applicant Letter of Request
 3. Lot Map
 4. Future Land Use Map

EXECUTIVE SUMMARY: The applicant, Andy Richardson, R&H Engineering, on behalf of Sunset Creek Farms, LLC has submitted for consideration the Final Plat for Ansley Point, a 1-lot subdivision of a vacant and un-platted 0.92± ac property located at the northeast corner of the intersection of Hamilton Cir N and Hamilton Cir W. The property address is 6602 Hamilton Cir N. This application has been submitted in concurrence with a rezoning application (File # ZP25-0006).



Fig. 1: Vicinity Parcels

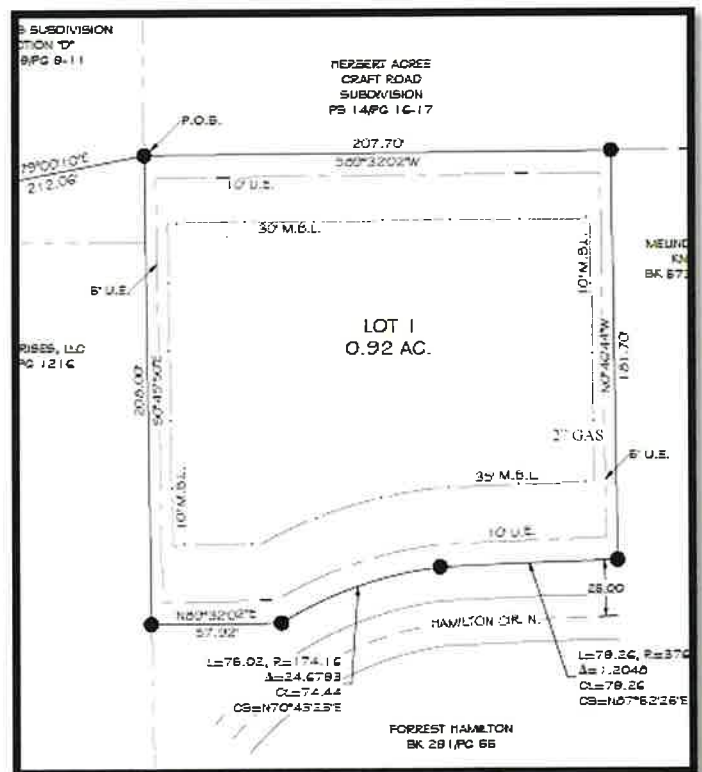


Fig. 2: Proposed Lot 1

1. BACKGROUND:

General Information			
Applicant	Andy Richardson, P.E; P.L.S. Engineer and Surveyor for Sunset Creek Farms, LLC (Property Owner)		
Applicant's Status	Agent Representative of Property Owner		
Current Zoning of Property	AR, Agricultural Residential		
Requested Action	Approve the Final Plat for the proposed Lot 1, Ansley Point Subdivision		
Purpose	Create one lot from a single un-platted parcel		
Location	North of the intersection of Hamilton Cir W and Hamilton Cir N		
Size of Parent Parcel	± 0.92 acres		
Existing Land Use	Vacant		
Surrounding Zoning and Land Use	<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>
	North	AR	Vacant
	East	AR	Single Family Residential
	South	R-3	Single-Family Residential
	West	AR	Vacant
Future Land Use Designation	<p>Suburban Neighborhood</p> <p>Character: Suburban neighborhoods have lot sizes ranging from 6,000 sq. ft. to 30,000 sq. ft., with most in the 12,000 – 15,000 sq. ft. range. These subdivisions generally have urban roadway sections (curb, gutter and sidewalks). However, there are a number of older single-family subdivisions constructed before sidewalks were required and a number of newer planned developments that were permitted to develop with rural roadway sections (open swales, no curb or sidewalks).</p>		
Applicable Regulations	Zoning Ordinance, Subdivision Regulations, and other land use regulations of the City where applicable		

2. ANALYSIS:

2.1. Zoning (Proposed R-1)

Item	Prop. Zoning Requirement	Proposed Lot
Minimum Lot Size	12,5000 sf minimum	+ 0.92 ac
Front Setback	35 ft	The proposed Lot 1 will have a 35 ft front yard setback, which meets the required minimum
Side Setback	8 ft minimum (20 ft total)	Future buildings will have to meet the minimum side yard setback requirement. A side setback of 10 ft is proposed
Rear Setback	30 ft	Future buildings will have to meet the minimum rear yard setback requirement. The proposed Lot 1 would have a 30 ft front yard setback, which would meet the required minimum rear setback
Minimum width at building setback line	85 ft	The proposed Lot 1 will have a minimum width at the building line of 194 ft, which meets the required minimum
Maximum Density	3.5 dwelling units per ac	The proposed Lot 1 will have a density of 1 unit per ac which meets the required minimum

2.2. Utilities

Utility lines are readily available in the area, with 12” and 3” water mains located in the Hamilton Circle right-of-way. A 6” gas main is also located within the Hamilton Circle right-of-way. There is also an 8” water main with a hydrant located to the northwest of the site within the Hummingbird Drive right-of-way. An 8” sewer line with manhole runs north/south along the west property line. An east/west 8” sewer line ties into the manhole along the north property line.



Fig. 3: Area Utility Layout

2.3. Transportation

According to the Comprehensive Plan 2040, Hamilton Circle and Hummingbird Drive, if connected, would serve as an alternate minor route between Goodman Rd (Principal Arterial) and Bluebird Ln. (Major Collector). The proposed Lot 1 is midpoint between Craft Rd. and Davidson Rd., which are both north-south section line roads built on the one-mile grid system (*Exhibit 6*). Connecting Hummingbird Dr. and Hamilton Circle would create a north-south alternate to reach Goodman Rd. and Bluebird / Curbo Ln., which are east-west section line roads.

2.4. Bond

No construction of major public infrastructure is required; hence, financial guarantee for infrastructure completion is not necessary before recordation of the plat.

2.5. Variances and Deviations

The applicant does not request a variance or deviation from the standards of the Zoning Ordinance and/or Subdivision Regulations as may be applicable to the subject property. Staff does not find that a variance or deviation is necessary.

2.6. Waivers

No waiver of required subdivision infrastructure improvement is applicable to this subdivision request.

3. NEXT STEPS

Upon recommendation by the Planning Commission, the plat will be forwarded to the Board of Mayor and Aldermen for consideration. If approved by the Board, the plat would need to be recorded. Once the plat has been recorded, building permit(s) may be issued for proposed development(s) on the lot in accordance with the applicable City's land development regulations.

4. STAFF RECOMMENDATION

Staff recommends approval of the Final Plat of Ansley Point Lot 1, subject to the following conditions:

1. Lot improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. Future development on Lot 1 shall comply with the applicable requirements of the City's various land development regulations.
3. All stormwater improvements must be approved by the City Engineer and MDEQ.
4. The requirement for sidewalks along Hamilton Circle is waived.
5. The Final Plat must be recorded before a building permit may be issued.
6. Minor edits are applicable to the Final Plat as may be required by City regulations and deemed necessary by City staff.

CHECKED FOR SUBMISSION TO THE COMMISSION BY: Angela DATE: 7/03/2025

MOTION BY: _____ SECOND BY: _____

	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
VOTE							
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____

Andrew Richardson, P.E., P.S.
R & H Engineering and Surveying, LLC
231 W. Center Street
Hernando, MS 38632
901-605-1739
andy@rhengineering.net

June 12, 2025

Re: Solo One Lot Subdivision

To Whom It May Concern,

The applicant would like your consideration in allowing property located at 6602 Hamilton Circle N. that is owned by Sunset Creek Farms, LLC (Parcel No. 106930000 0002200) to be re-zoned from the existing AR zoning designation to the proposed R-1 zoning designation. The property of interest is 0.92 acres in size and sits on the northern side of Hamilton Circle N. and is roughly a half mile north of MS 302 and a half mile west of Craft Road. A house existed on the subject property from the 1950's until it was demolished sometime between August of 2011 and October of 2013.

The existing AR zoning designation that has been previously applied to this parcel was a mistake. AR zoned properties are required to be a minimum of 1.0 acres in size. This parcel has been less than an acre for many years and thus due to the surrounding residential nature of the surrounding area should have been zoned R-1. Also, this area in general would have been considered rural until higher density housing developments began to spring up in the area in the early 2000's. The character of the surrounding area has changed in the last 25 years. There are now currently several existing or proposed developments within a half mile of the subject property that are zoned R-1, R-2, R-3 or PUD with similarly sized lots. The applicant is proposing to rezone the subject property to R-1 zoning to fit into the similar property sizes that are being developed within the half mile area of the property and to have the ability to construct a house on the lot.

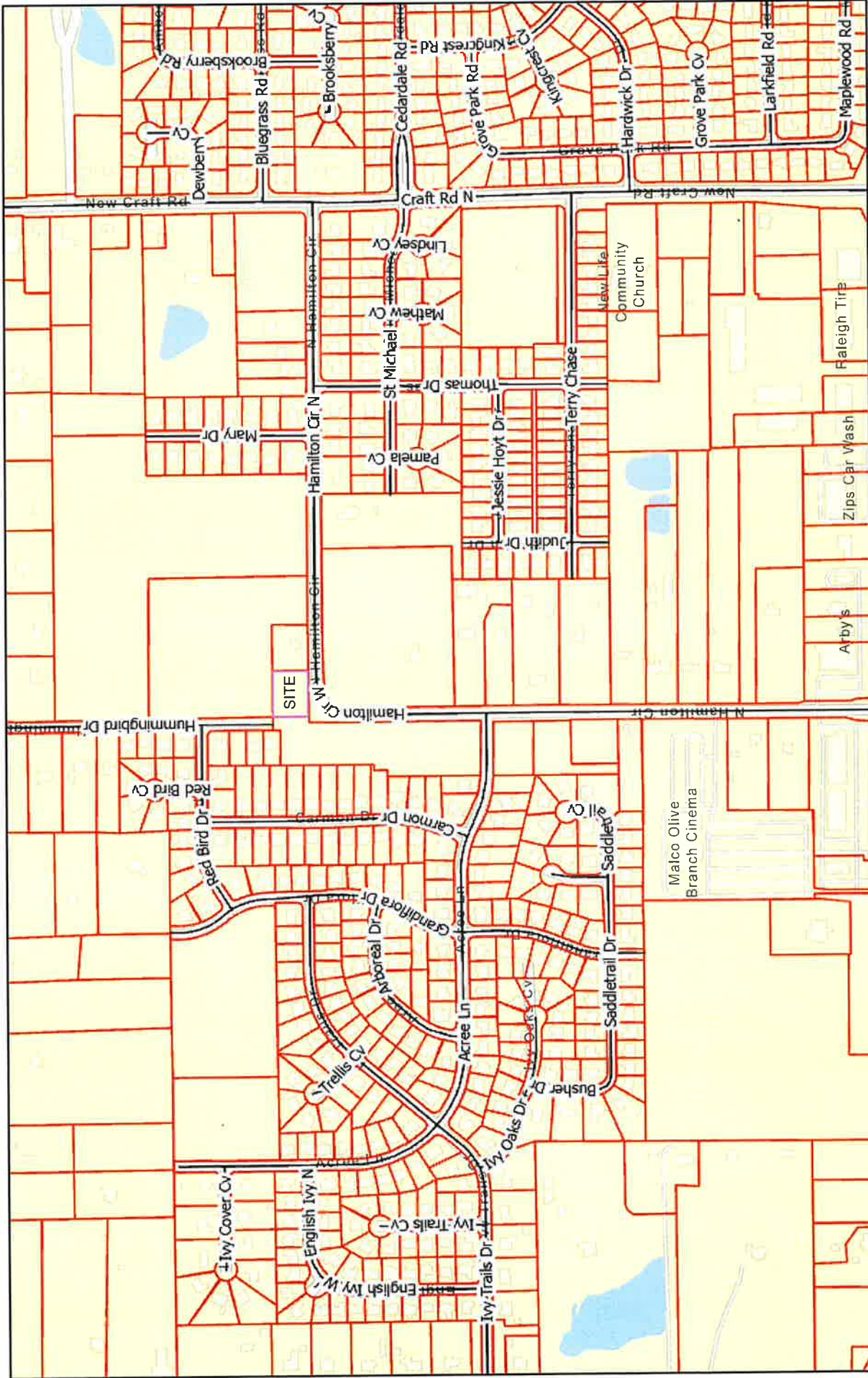
There is an existing public need for the rezoning of this property. With most of the lots in the surrounding developments already being sold and built out, the demand for homes is high in this community. This community's convenient location to shopping centers, entertainment, golf courses, and schools has made it a very desirable location for people to want to live. Granting this property re-zoning will allow the property owner to construct a new home on this property. If any further information is needed, please do not hesitate to contact me at 901-605-1739 or andy@rhengineering.net or the applicant, Kevin Bynum of Sunset Creek Farms, LLC at 901-268-1229 or kevinb@buildprestige.com.

Sincerely,



Andrew Richardson, P.E., P.S.
R & H Engineering and Surveying, LLC

Ansley Point Subdivision



7/11/2025, 6:06:35 PM

1:9,028

Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community

Addresses <all other values>
 Tax Parcels Roads Local

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City of Olive Branch

REPORT TO THE PLANNING COMMISSION

CAPTION/SUBJECT: Application for a Final Plat for Eagle Commercial Subdivision, Lots 4 & 5, submitted by Bob Farley, Farley Surveying, LLC on behalf of Eagle Land LLC, property owner. The request is to create 2 lots of 6.41 +/- acres. The subject property is zoned C-2, Highway Commercial District, and is located on the west side of Hacks Cross Rd, just south of the Burlington Northern Railroad track and north of Hwy 178. (File #SD25-0018).

EXHIBIT:
1) Final Plat

EXECUTIVE SUMMARY

The applicant, Bob Farley, Farley Surveying, LLC on behalf of Eagle Land LLC, has submitted for consideration a final plat for a 2-lot subdivision of an un-platted 6.41 +/- ac property located at the southwest corner of the intersection of Hacks Cross Rd and the BSNF Railroad right-of-way. The property is presently zoned C-2 Highway Commercial. The proposed lots are presently vacant, and there is no minimum lot area requirement. Utility lines are readily available, with a 16" water main, an 8" water main, and a 6" gas main located along Hacks Cross Rd. All infrastructure completion (if required) shall be the responsibility of the developer of the lots. No variances, deviations, and/or waivers are applicable to the plat. Staff recommends approval subject to various conditions.



Fig. 1: Aerial View of Proposed Lots

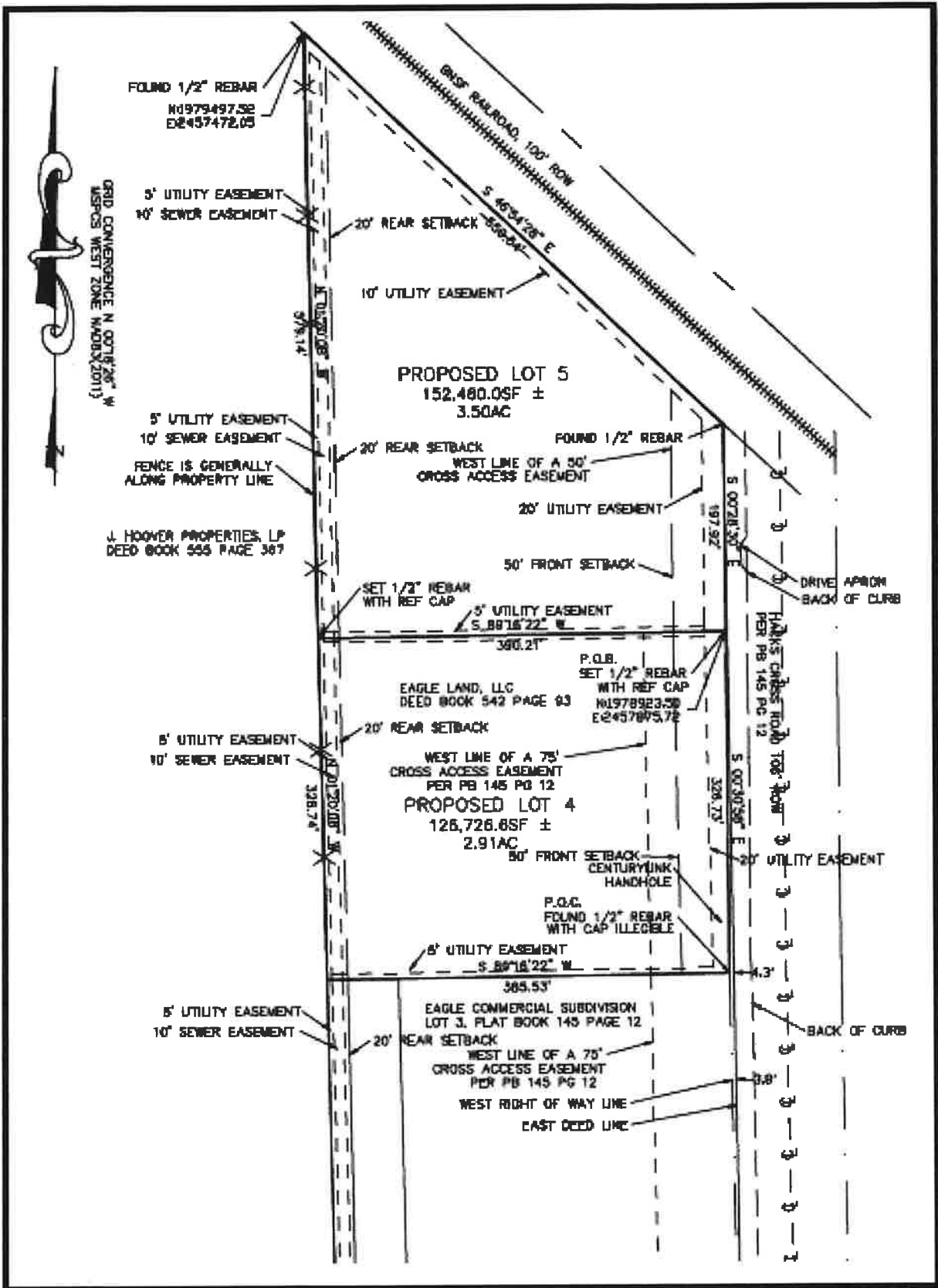


Fig. 2: Proposed Final Plat

1. BACKGROUND:

General Information			
Applicants	Robert Farley, P.L.S. for Eagle Land, LLC		
Applicant's Status	Surveyor and Agent of Property Owner		
Current Zoning of Property	C-2, Highway Commercial		
Requested Action	Approve final plat for Eagle Commercial Subdivision; Lots 4 & 5		
Purpose	Create two lots from a single un-platted parcel		
Location	Southwest corner of Hacks Cross Rd and the BNSF Railroad r.o.w		
Size of Parent Parcel	± 6.41 acres		
Existing Land Use	Vacant		
Surrounding Zoning and Land Use	<i>Direction</i>	<i>Zoning</i>	<i>Land Use</i>
	North	R-2 and A-R	Single Family Residential
	East	C-2	Used Auto Sales
	South	C-2	Mini-Storage Facility
	West	C-2	Vacant
Future Land Use Designation	Commercial Corridor		
Applicable Regulations	Zoning Ordinance and Subdivision Regulations		

2. ANALYSIS:

2.1. Zoning

Item	Zoning Requirement	Proposed Lots
Minimum Lot Size	None	± 2.91 ac (Lot 4) and 3.50 ac (Lot 5)
Front Setback	50 ft	Future buildings will have to meet the minimum front yard setback requirement on Hacks Cross Rd
Side Setback	None	Future buildings will have to meet the minimum side yard setback requirement.
Rear Setback	20 ft	Future buildings will have to meet the minimum rear yard setback requirement.
Minimum width at building setback line	None	326.73 ft for Lot 4 and 197.92 ft for Lot 5
Maximum Density	N/A	N/A

2.2. Utilities

There is a 16” water main, an 8” water main, and a 6” gas main located along Hacks Cross Rd. There are also existing sewer and utility easements along the west property line of existing Lot 3 to the south. These easements would be extended into Lots 4 and 5 which would allow for access to an existing pump station on the west side of Lot 3. There are also communications pedestals located in the northeast corner of Lot 5 and the southeast corner of Lot 4. An existing electrical pole with dips servicing Lot 3 is in the northeast corner of Lot 3.

2.3. Transportation

According to the Comprehensive Plan 2040, Hacks Cross Rd is classified as a Minor Arterial Roadway. The proposed Lots 4 and 5 have public street frontage on Hacks Cross Rd. A 75 ft cross-access easement is proposed along the east property line of Lot 4. This easement is reduced to 50 ft on Lot 5. A Conditional Use Permit (CU24-0008) was granted by the Board of Adjustment in May 2025 for a potential outdoor contractor storage yard on proposed Lot 5. A condition of approval of this CUP required that the development of Lot 5 be interconnected with the southern proposed Lot 4 for cross access purposes. There is an existing drive apron located approximately 140 ft south of the BNSF right-of-way.

2.4. Bond

No construction of major public infrastructure is required; hence, financial guarantee for infrastructure completion is not necessary before recordation of the plat.

2.5. Variances and Deviations

The applicant does not request a variance or deviation from the standards of the Zoning Ordinance and/or Subdivision Regulations as may be applicable to the subject property. Staff does not find that a variance or deviation is necessary.

2.6. Waivers

No waiver of required subdivision infrastructure improvement is applicable to this subdivision request.

3. NEXT STEPS

Upon recommendation by the Planning Commission, the plat will be forwarded to the Board of Mayor and Aldermen for consideration. If approved by the Board, the plat would need to be recorded. Once the plat has been recorded, lots may be sold or building permit(s) issued for proposed development(s) on the lots in accordance with the applicable City’s land development regulations.

4. STAFF RECOMMENDATION

Staff recommends approval of the final plat of Lots 4 and 5, “Eagle Commercial Subdivision”, subject to the following conditions:

1. Lot improvements shall be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. Future development on the lots shall comply with the applicable requirements of the City’s various land development regulations.

3. All stormwater improvements must be approved by the City Engineer and MDEQ.
4. Unless otherwise specified, all utilities and services (electric, telephone, cable, etc.) shall be installed underground.
5. The developer of each of the lots shall construct a sidewalk along the Hacks Cross Rd street frontage of the concerned lot. A bond or letter of credit for the sidewalks is not required before recordation of the plat.
6. The final plat must be recorded before a building permit may be issued for any development on the proposed lots.
7. Minor edits are applicable to the Final Plat as may be required by City regulations and deemed necessary by City staff.

PREPARED BY *[Signature]* DATE: 7/3/2025
 CHECKED FOR SUBMISSION TO THE PLANNING COMMISSION BY: *[Signature]* DATE: 7/03/2025
 MOTION BY: _____ SECOND BY: _____

	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
VOTE	_____	_____	_____	_____	_____	_____	_____
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____



VICINITY MAP, NO SCALE

Survey and description of a 3.50 acre tract in the Southeast quarter of Section 2, Township 2 South, Range 6 West of the Chickasaw Cession in the city of Olive Branch, DeSoto County, Mississippi, being part of the Eagle Land, LLC property as recorded in Deed Book 542 Page 93 in the DeSoto County Chancery Court clerk's office and being more particularly described as follows: Commencing at 1/2" rebar (FOUND), said rebar being a call distance of 5'00"28"52" E 37'08.86' & S 88°52'38" W 33'00" from the Northeast corner of said Section 2) at the Northeast corner of Eagle Commercial Subdivision Lot 3 as recorded in Plat Book 145 page 12, thence N 00°28'30" E a distance of 326.45' to a 1/2" rebar with REF cap (SET) in the West right of way line of Hacks Cross Road (106.0' ROW per PB 145 pg 12), said rebar having a Mississippi State Plane West zone coordinate of North 1,978,923.50, East 2,457,875.72 and being the true point of beginning thence S 89°16'22" W departing said Hacks Cross Road along a new line a distance of 390.211' to a 1/2" rebar with REF cap (SET) in an East line of the J. Hoover Properties, LP tract as recorded in Deed Book 555 page 367; thence N 01°20'08" W along said Hoover property a distance of 579.14' to a 1/2" rebar (FOUND) in the South right of way line of the Burlington Northern Santa Fe railroad (100.0' ROW); thence S 46°54'28" E along said railroad ROW a distance of 550.54' to a 1/2" rebar (FOUND) in the West ROW of said Hacks Cross Road; thence S 00°28'30" E along said Hacks Cross Road ROW a distance of 137.92' to the point of beginning, having an area of 152460.0 Square Feet, 3.50 Acres. The bearings in this description are MSPCS West zone derived.

Subject to the city of Olive Branch and DeSoto County subdivision and zoning regulations.
Subject to any easements for utilities.
Subject to road right of way.

NONE OF THE SURVEYED PROPERTY LIES WITHIN THE FLOOD HAZARD AREA AS DEFINED ON FEMA FIRM PANEL 28033C0104H EFFECTIVE 5/05/2014.

CLASS OF SURVEY "C" SUBURBAN PREPARED FOR EAGLE LAND, LLC FIELD WORK AS OF 5/29/2025

THE POINT OF COMMENCEMENT TIE TO THE NORTHEAST SECTION CORNER IS CALCULATED FROM PB 145 PG 12. NOT SHOWN DUE TO SCALE LIMITATIONS.

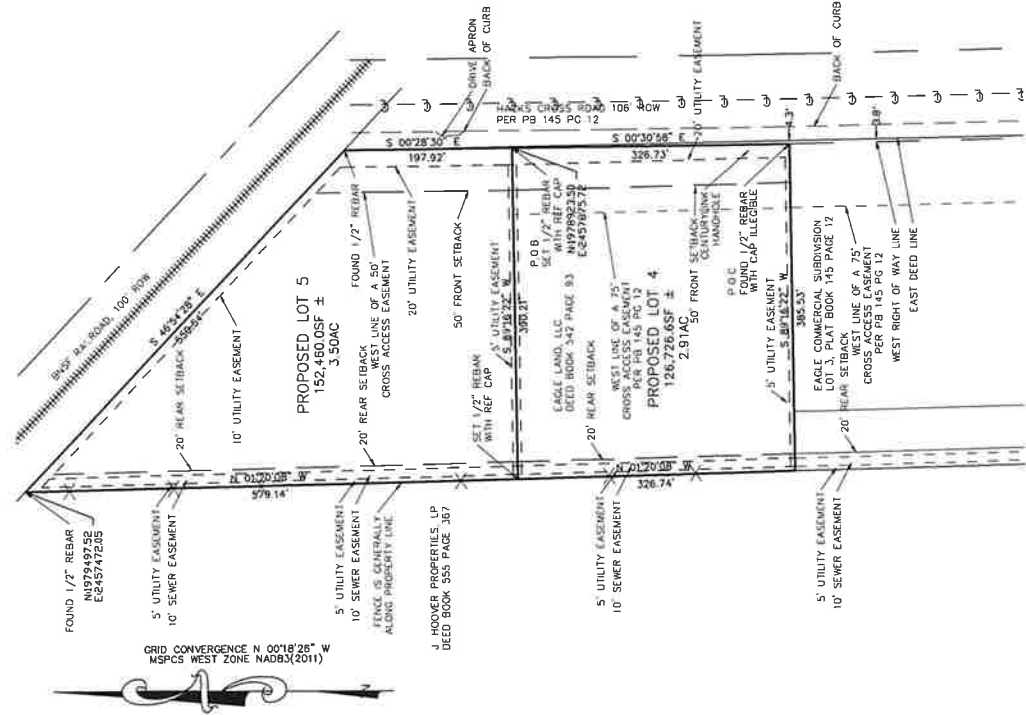
ZONING IS C-3 PER DESOTO COUNTY GIS WEBSITE ON 5/29/2025
FRONT SETBACK: 50'
SIDE SETBACK: NONE
REAR SETBACK: 20'

THIS SURVEY DONE WITHOUT THE BENEFIT OF A TITLE COMMITMENT NO LIABILITY ASSUMED.

IMPROVEMENTS TO BE THE RESPONSIBILITY OF THE DEVELOPER AND NOT THE CITY OF OLIVE BRANCH.

WATER & SEWER SERVICE TO BE PROVIDED BY THE CITY OF OLIVE BRANCH.

OWNER DEVELOPER:
EAGLE LAND, LLC
P.O. BOX 867
NEW ALBANY, MS 38652



No.	Date	Revision	By

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT EXPRESSED WRITTEN PERMISSION

Drawing No: 2025-5-5
Sheet No.: 1_OF_2

FINAL PLAT
EAGLE COMMERCIAL SUBDIVISION
LOTS 4 & 5
OLIVE BRANCH, MS

Date: 6/11/2025
Scale: 1"=100'
Filename: EAGLEHACKS

Engineered By: N/A
Drawn By: BF
Checked By: BF

FARLEY SURVEYING, LLC
ROBERT EDWARD FARLEY
235 WEST CHULAHOMA AVENUE
HOLLY SPRINGS, MS 38635
Phone: (662) 544-2030
bob@farleysurveying.com

Owner's Certificate

I/We, Robert M Bailey, for Eagle Land, LLC as owner of the property, hereby adopt this as my plan of subdivision and dedicate the right-of-way for the roads as shown on the plat of subdivision to the public use forever and reserve for the public utilities the utility easements as shown on the plat. I certify that I am the owner in fee simple of the property and that no taxes have become due and payable. This the _____ day of _____, 2025.

Robert M Bailey _____

Notary's Certificate

State of Mississippi, County of _____ Personally appeared before me the undersigned authority in and for said County and State, on this the _____ day of _____, 2025, _____, who is _____ of _____, Mississippi, who acknowledged that he/she executed the above and foregoing certificate for the purposes therein mentioned.

Notary Public

Mortgagee's Certificate

_____ Mortgagee of the property shown hereon hereby adopt this as My/Our plan of subdivision and dedicate the right-of-way for the roads as shown on the plat of subdivision to the public use forever and reserve for the public utilities the utility easements as shown on the plat. I certify that I am the mortgagee in fee simple of the property and that no taxes have become due and payable. This the _____ day of _____, 2025.

Title Signature of Mortgagee.

Notary's Certificate State of Mississippi, County of Desoto.

Personally appeared before me the undersigned authority in and for said County and State, on this the _____ day of _____, 2025, _____ who is _____ of _____, Mississippi, who acknowledged that he is _____ of _____ and as his act and deed he/she executed the above and foregoing certificate for the purposes therein mentioned after having been duly authorized by the corporation to do so.

Notary Public.

My commission Expires.

Certificate of Surveyor

This is to certify that I have drawn this subdivision shown hereon and that the plat of same is accurately drawn from information from a ground survey by me.

Robert E. Farley, MS RLS#3153

Olive Branch City's Certificate

Olive Branch Planning Commission

Approved by the City of Olive Branch, Desoto County, Mississippi Planning Commission on this the _____ day of _____, 2025.

Chairperson/Vice Chairperson _____

Olive Branch Mayor and Board of Aldermen

Approved by the Mayor and Board of Aldermen of the City of Olive Branch, Desoto County, Mississippi, on this the _____ day of _____, 2025.

Minute Book _____, Page _____

Mayor _____

City Clerk _____

Chancery Clerk's Certificate I hereby certify that the subdivision plat shown hereon was filed for record in my office at _____ on this the _____ day of _____, 2025, and was immediately entered upon the proper indexes and duly recorded in Plat Book _____ at page _____.

Chancery Clerk _____



FARLEY SURVEYING, LLC
ROBERT EDWARD FARLEY
235 WEST CHULAHOMA AVENUE
HOLLY SPRINGS, MS 38635
Phone: (662) 544-2050
bob@farleysurveying.com

Engineered By: N/A
Drawn By: BF
Checked By: BF
Date: 6/11/2025
Scale: NONE
Filename: EAGLEHACKS
Drawing No: 2025-5-5
Sheet No.: 2 OF 2

No.	Date	Revision	By

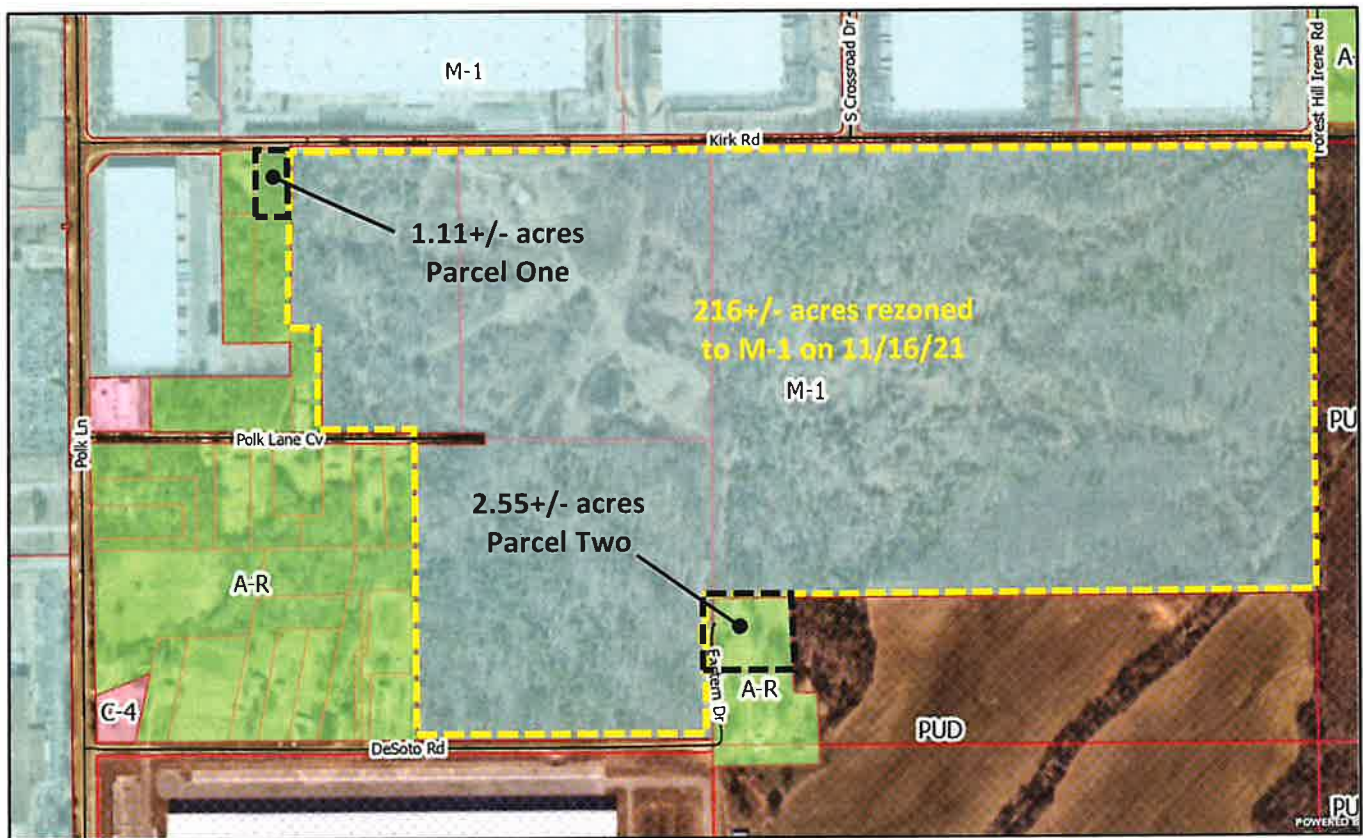
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES IS THE PROPERTY OF FARLEY SURVEYING, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT EXPRESSED WRITTEN PERMISSION

REPORT TO THE PLANNING COMMISSION

CAPTION / SUBJECT: Application for a Zoning Map Amendment, submitted by Jarmon Peregoy, P.E., Kimley-Horn & Associates, on behalf of Land Grant LLC, Mark Bolding, property owner. The request is to rezone two individual parcels from A-R, Agricultural-Residential District to M-1, Light Industrial District. The first parcel is 1.11+/- acres, located on the south side of Kirk Rd, approximately 760 feet east of Polk Ln, known as 12215 Kirk Rd. The second parcel is 2.55+/- acres, at the north end of Eastern Drive, approximately 325 feet north of Desoto Rd, known as 8048 Eastern Dr.

- EXHIBITS:**
1. Aerial Location Map
 2. Application Letter (6/6/25)
 3. 2006 & 2025 Aerial Maps
 4. Future Land Use Map (2040 Comp. Plan)

EXECUTIVE SUMMARY: On November 16, 2021, following an affirmative recommendation from the Planning Commission, the Board of Aldermen rezoned 216.16+/- acres located south of Kirk Road and east of Polk Lane from A-R to the M-1, Light Industrial District. Property owner Land Grant, LLC has purchased two adjoining parcels of 1.11+/- acres and 2.55+/- acres within this industrialized area of the City and is seeking to rezone them to the same M-1 district. The application conforms to the rezoning criteria and it is recommended for approval. The subsequent item on the agenda proposes a multi-phase plan to subdivide the 220.21+/- acres into 3 industrial lots and including plans for road extensions, dedication of rights-of-way and frontage improvements.



BACKGROUND: Parcel One proposed for rezoning from A-R to M-1 is 1.11+/- acres, located on the south side of Kirk Rd, approximately 760 feet east of Polk Ln. It is vacant, wooded land. Parcel Two is 2.55+/- acres and is located at the north end of Eastern Drive, approximately 325 feet north of Desoto Rd. The property is improved with a 1000 sq. ft. single family home and some out buildings that tax records show was constructed in 1965. Prior to the industrialization of this area, most of the land was used for farming, and some of the homes, structures and properties along Eastern Drive appear as if they are still being used in conjunction with smaller farming operations. Both parcels were annexed into Olive Branch effective May 28, 2021.

ANALYSIS: The criteria used to evaluate a rezoning are listed below, followed by a staff finding:

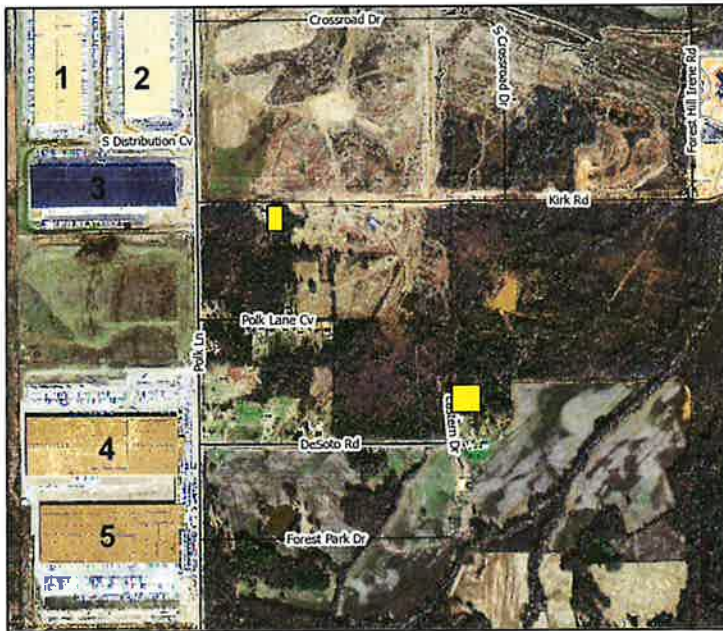
1. The original zoning classification for the property was a mistake; or that,

Staff Finding: There is no claim or evidence to suggest the original zoning classification was a mistake. In 2021, the property was annexed into the City with A-R, Agricultural Residential zoning. A-R zoning on the two parcels likely dated back to DeSoto County's first adopted zoning map.

2. The character of the neighborhood has changed to such an extent to justify the proposed rezoning; (If the proposed zoning classification does not conform to the City's General Development Plan, the applicant shall be required to offer proof with regard to what major economic, zoning, physical, or social changes, if any, have occurred in the vicinity of the property in question, which were not anticipated by the General Development Plan, and which have altered the basic character of the area, to make the amendment appropriate.) and that,

Staff Finding: The aerial exhibits, below, depict an area of approximately 1.75 square miles centered around the two subject parcels (highlighted in yellow) proposed for rezoning. In 2006, there were 5 large industrial facilities in this area along the west side of Polk Ln. By 2025, the aerial shows that 11 more buildings were erected within the ensuing 20-year period. Several of the 16 buildings shown in the 2025 aerial map are 1,000,000 +/- sq. ft. in size. As discussed in the Applicant's letter, economic conditions in this area are more favorable to the development of industrial versus the residential uses permitted under existing zoning and it is incontrovertible that this area of the City has been transformed into a major center for warehouse distribution facilities.

2006 AERIAL MAP

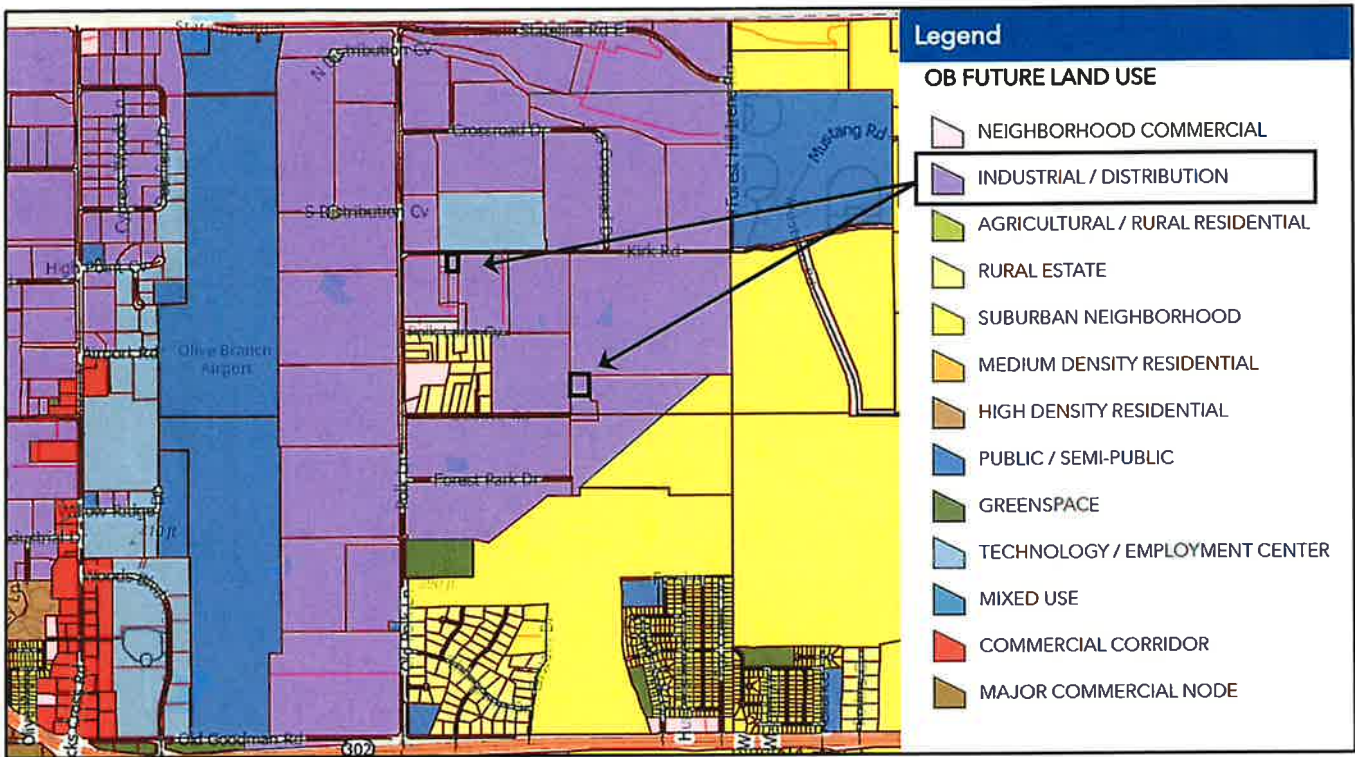


2025 AERIAL MAP



The City recognized the changing character of the area in rezoning the 216.16 +/- acres located between the two parcels on November 16, 2021 from A-R to M-1, Light Industrial. Rezoning of the 216.16 +/- acres was also done at the behest of the same property owner and current applicant - Land Grant, LLC. The LLC is affiliated with industrial developer Prologis.

The Comprehensive Plan 2040 also recognized the development patterns and the changing character of the neighborhood in designating the subject parcels for "Industrial / Distribution" on the Future Land Use Map.



3. A public need exists for the rezoning.

Staff Finding: Although the market has slowed down some over the last several years, there has been substantial development of warehouse distribution facilities within the city during the past decade. With the City’s supply of vacant land in the M-1, Light Industrial zoning district limited, approval of this rezoning would add land within an area that contains adequate road and utility infrastructure to support large scale warehouse distribution facilities. With its accessibility to designated truck routes (i.e. Kirk Rd. and Polk Ln.) and the state and federal highway system (HWY 302, I-269 & I-78), the site of the two parcels is well located from the perspective of industrial developers. From a planning perspective, the development of warehouse distribution facilities on the subject properties represents the highest and best use. With favorable market conditions, this type of development is leading to job growth and enhancement of the local tax base which are both deemed to be meeting a public need.

NEXT STEPS: This application will move forward to the Board of Aldermen for a final decision on the rezoning. The ensuing item on the agenda is an application for preliminary plat approval to subdivide the subject properties, including the 216.16 +/- acres rezoned in 2021, over several phases with commensurate expansion of road and utility infrastructure.

RECOMMENDED MOTION: Based on finding that the proposed rezoning meets the criteria and conforms to the 2040 Comprehensive Plan, recommend that the Board of Aldermen rezone two parcels of 1.11+/- acres (12215 Kirk Rd.) and 2.55+/- acres (8048 Eastern Dr.) from AR, Agricultural Residential to the M-1, Light Industrial District.

CHECKED FOR SUBMISSION TO THE COMMISSION BY: [Signature] DATE: 7/2/25

MOTION BY: _____ SECOND BY: _____

VOTE	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____

LOCATION MAP



6/27/2025, 11:02:38 AM

Addresses <all other values>

Roads

Local



Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

City of Olive Branch

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June 6, 2025

Jason Gambone, Director of Planning & Development
City of Olive Branch
9200 Pigeon Roost
Olive Branch, MS 38654

RE: Olive Branch Logistics Park – Rezoning Application

On behalf of the Owner, Land Grant, LLC, Kimley-Horn and Associates is pleased to submit this application for the rezoning of two parcels from AR (agricultural-residential district) to M-1 (light industrial district). These properties are located at 12215 Kirk Road (parcel ID 105419000 0000700) and 8048 Eastern Drive (parcel ID 105419000 0002300).

As seen in Figure 1 below, the two subject properties (outlined in blue) are located in a primarily industrial area. The majority of the neighboring properties are both zoned for, and used for, light industrial activity, indicating that the character of the neighborhood has changed since the area was originally zoned for agricultural-residential use. Light industrial use is consistent with adjacent zoning and with the general character of the immediate vicinity of these two properties.



Figure 1: DeSoto County GIS Map with Zoning Districts

Rezoning these two properties will allow for greater redevelopment of the adjacent parcels that are zoned for industrial use. The properties are not ideal for new single-family development due to their proximity to industrial uses. Additionally, the future land use map adopted in the 2040 Comprehensive Plan identifies the intended use for these properties as industrial (see Figure 2 below). This rezoning request is consistent with the character of the neighborhood and with the adopted future land use map.

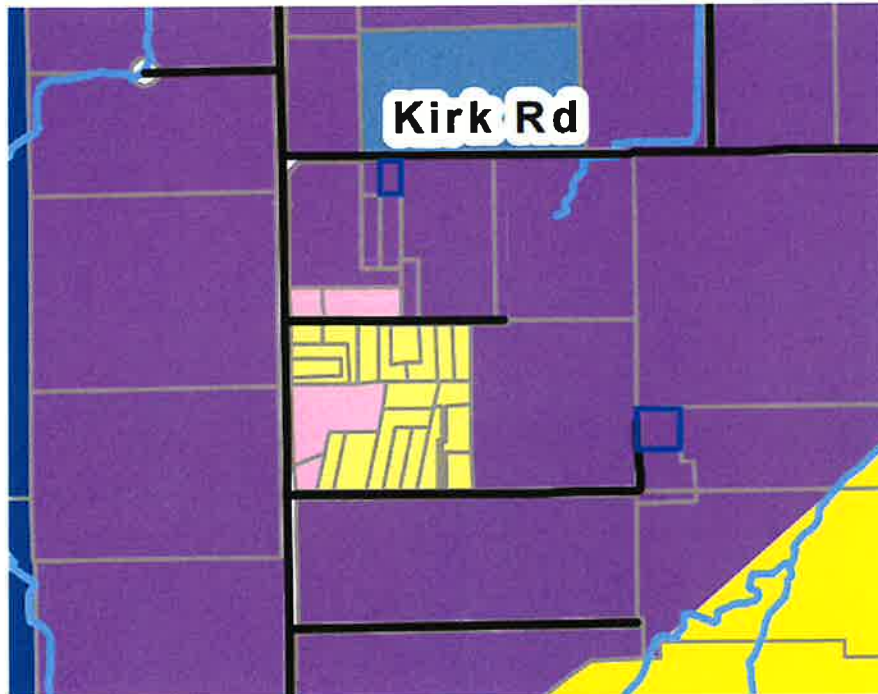


Figure 2: City of Olive Branch Future Land Use Map per 2040 Comprehensive Plan

With Kimley-Horn, you should expect more and will experience better. Please contact me at (901) 374-9109 or jarmon.peregoy@kimley-horn.com should you have any questions regarding this rezoning request.

Sincerely,

Jarmon Peregoy, P.E.
Vice President

2006 Aerial Map



6/26/2025, 3:09:07 PM

1:18,056
0 0.13 0.25 0.4 0.5 mi
0 0.2 0.4 0.8 km

Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

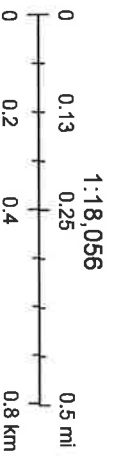
City of Olive Branch

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2025 Aerial Map



6/26/2025, 3:11:40 PM

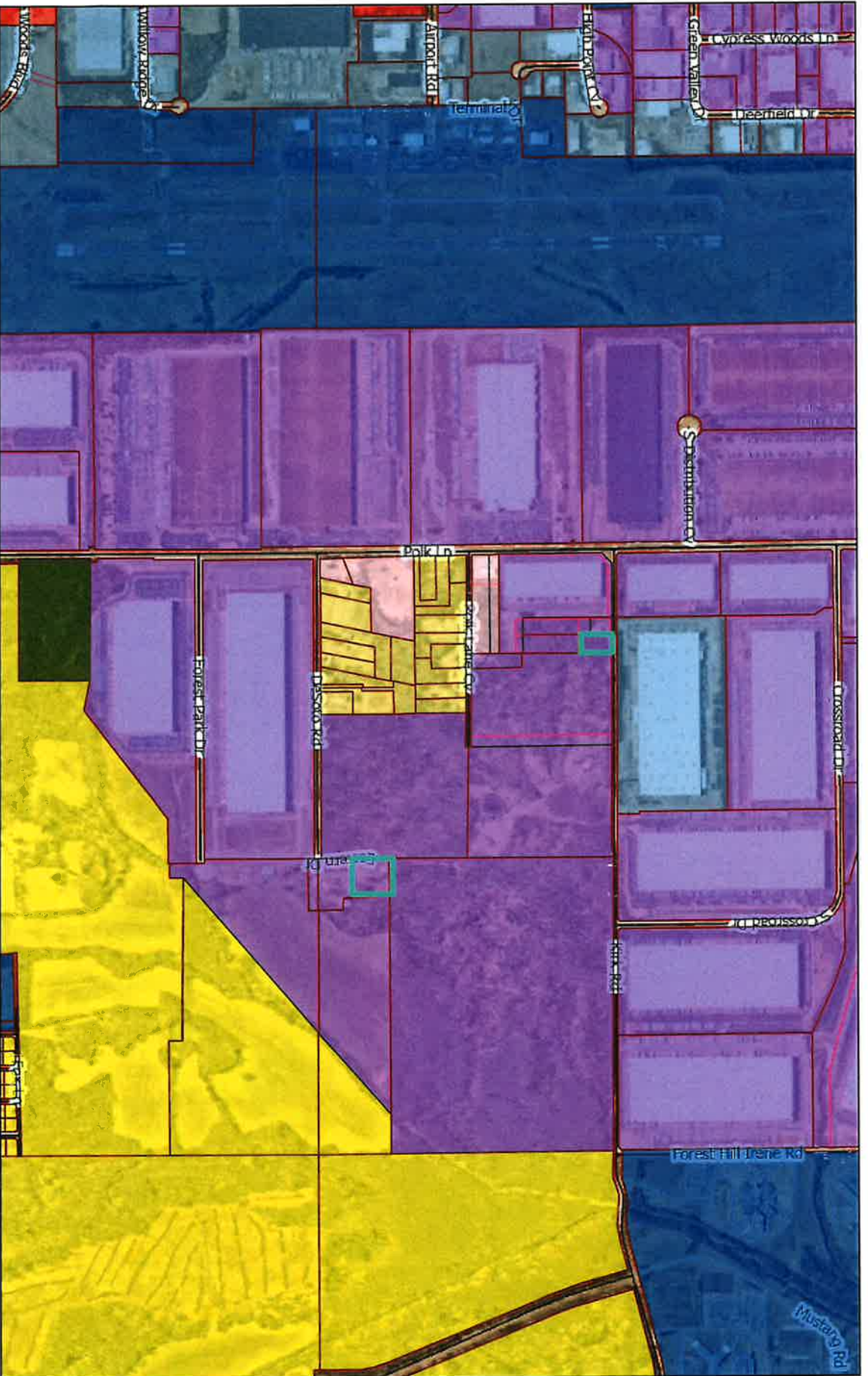


Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

City of Olive Branch

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Future Land Use Map (2040 Comprehensive Plan)



6/26/2025, 3:20:57 PM

1:18,056

- OB FUTURE LAND USE
 - NEIGHBORHOOD COMMERCIAL
 - INDUSTRIAL / DISTRIBUTION
 - RURAL ESTATE
 - SUBURBAN NEIGHBORHOOD
 - PUBLIC / SEMI-PUBLIC
 - GREENSPACE
 - TECHNOLOGY / EMPLOYMENT CENTER
 - COMMERCIAL CORRIDOR
 - Addresses
 - Tax Parcels
 - Roads
 - Local
 - Private
 - 0 0.13 0.25 0.4 0.8 km
 - 0 0.13 0.25 0.4 0.5 mi
- Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community
- City of Olive Branch
- Disclaimer: The City of Olive Branch, its employees, agents and personnel, MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR A PARTICULAR PURPOSE, OR ANY OTHER WARRANTY WHETHER EXPRESS OR

REPORT TO THE PLANNING COMMISSION

CAPTION / SUBJECT: Application for a Preliminary Plat for Olive Branch Logistics Park, submitted by Jarmon Peregoy, P.E., Kimley-Horn & Associates, on behalf of Land Grant LLC, Mark Bolding, property owner. The request is to subdivide 220.21+/- acres into 3 industrial lots, rights-of-way, and one common open space in several development phases. The subject property is zoned M-1, Light Industrial District, including two parcels proposed for rezoning from A-R under the previous agenda item, and is located on the south side of Kirk Rd, approximately 760 feet east of Polk Lane.

- EXHIBITS:**
1. Aerial Location Map
 2. Proposed Preliminary Plat & phasing plan
 3. Utility Map

EXECUTIVE SUMMARY: This application, which is recommended for approval, is a Preliminary Plat to subdivide 220.21+/- acres of industrially zoned property located on the south side of Kirk Road into 3 industrial lots, rights-of-way, and one common open space over 3 development phases. The first phase will include a Final Plat for Lot 1 (67.96+/- acres), 40' wide right-of-way dedication along its north frontage for Kirk Road, and 68' wide right-of-way dedication along its east side for the South Crossroads Drive roadway extension. Phase 1 construction will include the widening of Kirk Road and the "north" section of South Crossroads Dr.

The second phase includes platting of Lot 3 (86.88+/- acres), completion of Kirk Road right-of-way dedication and widening, dedication and construction to finish South Crossroads Drive's "south" section, and dedication of right-of-way for Forest Hill Irene (25' along the eastern frontage, widening to 50' along the floodway). The floodway is undevelopable acreage proposed to be platted as "Common Open Space A-10" (3.02+/- acres). No improvements to Forest Hill Irene are proposed or being requested as part of this application. If it were to be built in the future, it would connect residential subdivisions along HWY 302 to area schools as opposed to a truck route.

The third phase includes the platting of Lot 2 (53.52+/- acres). Polk Lane Cove will not be extended into the industrial park and no improvements to DeSoto Road will be required unless access to it were to be proposed and approved for future industrial development on Lot 2.

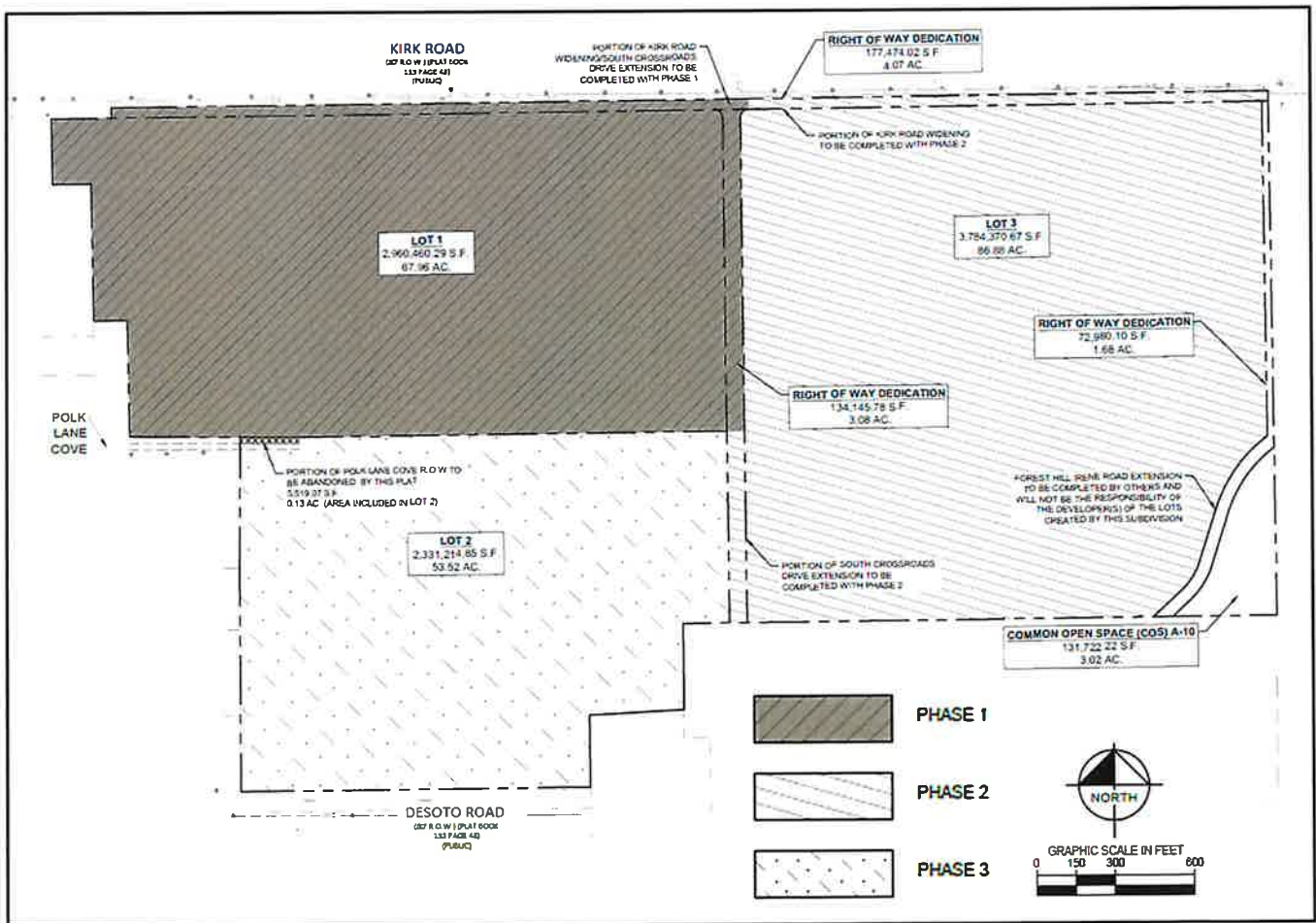


BACKGROUND: The subject property is comprised of 220.21+/- acres located on the south side of Kirk Road and east of Polk Lane that was part of a major annexation finalized on May 28, 2021. On November 16, 2021, following an affirmative recommendation from the Planning Commission, the Board of Aldermen rezoned 216.16+/- of the 220.21+/- acres from A-R to the M-1, Light Industrial District, and the previous item on the agenda proposed the rezoning to M-1 of two adjoining parcels of 1.11+/- acres and 2.55+/- acres. The area is vacant and wooded, with the exception of the 2.55+/- acre parcel that is improved with a 1000 sq. ft. single family home and some out buildings that tax records show was constructed in 1965. Prior to the industrialization of this area, which has occurred over the past several decades, it appears the land was used for farming operations.

This Preliminary Plat application proposes to subdivide the 220.21+/- acres into 3 industrial lots, rights-of-way, and one common open space over 3 development phases. Phase 1 includes 67.96+/- acre Lot 1, a 40' wide right-of-way dedication along its north frontage for Kirk Road and a 68' wide right-of-way dedication along its east side for the extension of South Crossroads Drive. Phase 1 construction includes the widening of Kirk Road and the full "north" section of South Crossroads Dr.

Phase 2 includes 86.88+/- acre Lot 3, Kirk Road right-of-way dedication and widening, continuing the 68' wide right-of-way dedication and completion of the South Crossroads Dr. roadway extension to the southern property line of the 220.21+/- acres, and dedication of right-of-way for Forest Hill Irene (25' along the eastern frontage, widening to 50' along the floodway). The floodway is undevelopable acreage proposed to be platted as "Common Open Space A-10" (3.02+/- acres). No improvements to Forest Hill Irene are proposed or requested as part of this application; this is only for right-of-way dedication.

Phase 3 includes 53.52+/- acre Lot 2. Polk Lane Cove will not be extended into the planned industrial park. There is 5519 sq. ft. of Polk Lane Cove right-of-way that is proposed to be abandoned which would be incorporated into Lot 2. DeSoto Rd. does not require additional right of way.



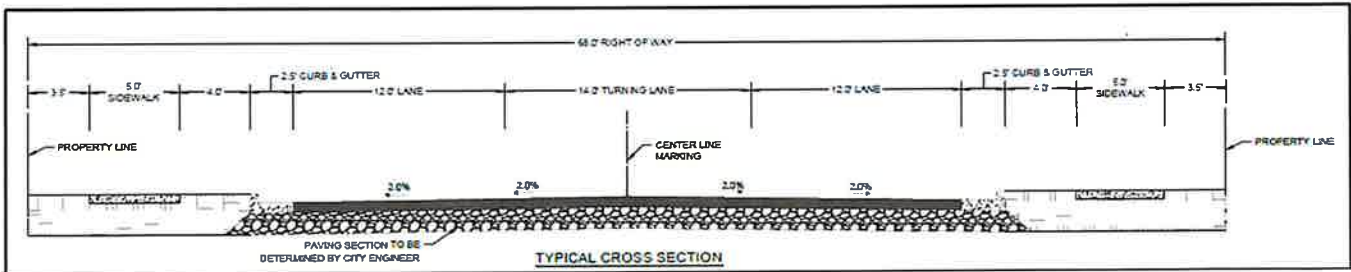
ANALYSIS:

1) Zoning / Future Land Use: With rezoning approval of the 1.11+/- acre and 2.55+/- acre parcels under the previous agenda item, the entire 220.21+/- acres is located within the M-1, Light Industrial zoning district. The subject property is designated as “Industrial / Distribution” on the 2040 Comprehensive Plan’s Future Land Use Map.

2) Lots: The Preliminary Plat proposes 3 developable lots that all exceed the minimum size and dimensional requirements of the M-1 zoning district. Upon final plats being approved and recorded, future development will need to maintain a minimum of 20% green space on each lot. Buildings will need to meet minimum setbacks of 50' along road frontages, 10' side, and 20' from rear property lines. These setbacks will be increased for buildings over 35', in which case they must be set back an additional foot per each additional foot of building height. Along lot lines abutting residentially zoned property (i.e. west sides of Lots 1 & 2), landscape buffers with a minimum width of 40' are required. This will have the effect of increasing side or rear yard setbacks to at least this width.

3) Utilities: Water, sewer, gas and electrical facilities are available in the area. Although utilities are sufficiently sized to support industrialized development in this part of the City, it appears some utility extensions to the site will be required. Overhead power for electrical transmission lines is expected and is noted in the recommended conditions of approval. Considering the large size of each lot, it is expected that each will contain stormwater detention facilities.

4) Access & Circulation: The typical cross section for South Crossroads Dr. is depicted, below. It shows two 12' wide travel lanes with a 14' wide center turn lane that is sufficient for tractor trailer movements. The cross section shows curb, gutter, and sidewalks within a 68' wide right-of-way. Including the 40' dedication, the right-of-way section for Kirk Road will be 80' wide. Kirk Road is also being planned for 3 lanes as its typical cross section. The need for deceleration or acceleration lanes will be determined by the City Engineer, who will also evaluate the need for any other improvements to mitigate potential conflicts with additional truck traffic and school traffic.



In addition to building a new road in the industrial park specifically designed for trucks, further mitigation of potential conflicts between truck traffic and school traffic is addressed by the requirement to plat right-of-way for the future Forest Hill Irene extension. The proposed right-of-way for Forest Hill Irene is 25' wide along the eastern frontage of the subject property (an additional 25' will be required to be dedicated from the adjoining property to the east upon its future platting) widening out to 50' as the right-of-way turns in a southwesterly direction along the floodway boundary.

The right-of-way alignment follows the “Street Improvements Map” from the City’s 2040 Comprehensive Plan. It calls for a 2-lane facility to be built for the 2.05-mile section between HWY 302 and Kirk Road. On the Plan’s Future Land Use Map, the proposed Forest Hill Irene alignment separates land designated for Industrial / Distribution uses on the west side from land designated for Suburban Neighborhoods to the east and south. In fact, Forest Hill Irene is the subdivision “spine road” in the recently approved 600-lot Kirk Farms project located on the north side of HWY 302. There is land area located between the subject’s 220.21+/- acres and the Kirk Farms development located in a different Planned Unit Development that Forest Hill Irene, as well as DeSoto Road, will need to traverse. This area will be difficult to cross due to the large ditches that converge there. However, all of the plans show that Forest Hill Irene is intended to be a facility that will connect residential areas to the schools. It is not being planned as a road that will be used by area industries and as such, the current proposal to keep truck traffic separated on the South Crossroads Dr. extension is preferable.

NEXT STEPS: Upon approval of a Preliminary Plat, the City Engineer is authorized to approve civil plans for installation of project infrastructure (i.e. roads and utilities). In turn, infrastructure installation can commence. A Final Plat must be reviewed by the Planning Commission and approved by the Board of Aldermen and recorded for building permits can be issued for vertical construction on any of the proposed lots.

RECOMMENDED MOTION: Approve and recommend that the Board of Aldermen approve the Preliminary Plat to subdivide 220.21+/-acres into 3 industrial lots, rights-of-way, and one common open space in several development phases, subject to the following conditions:

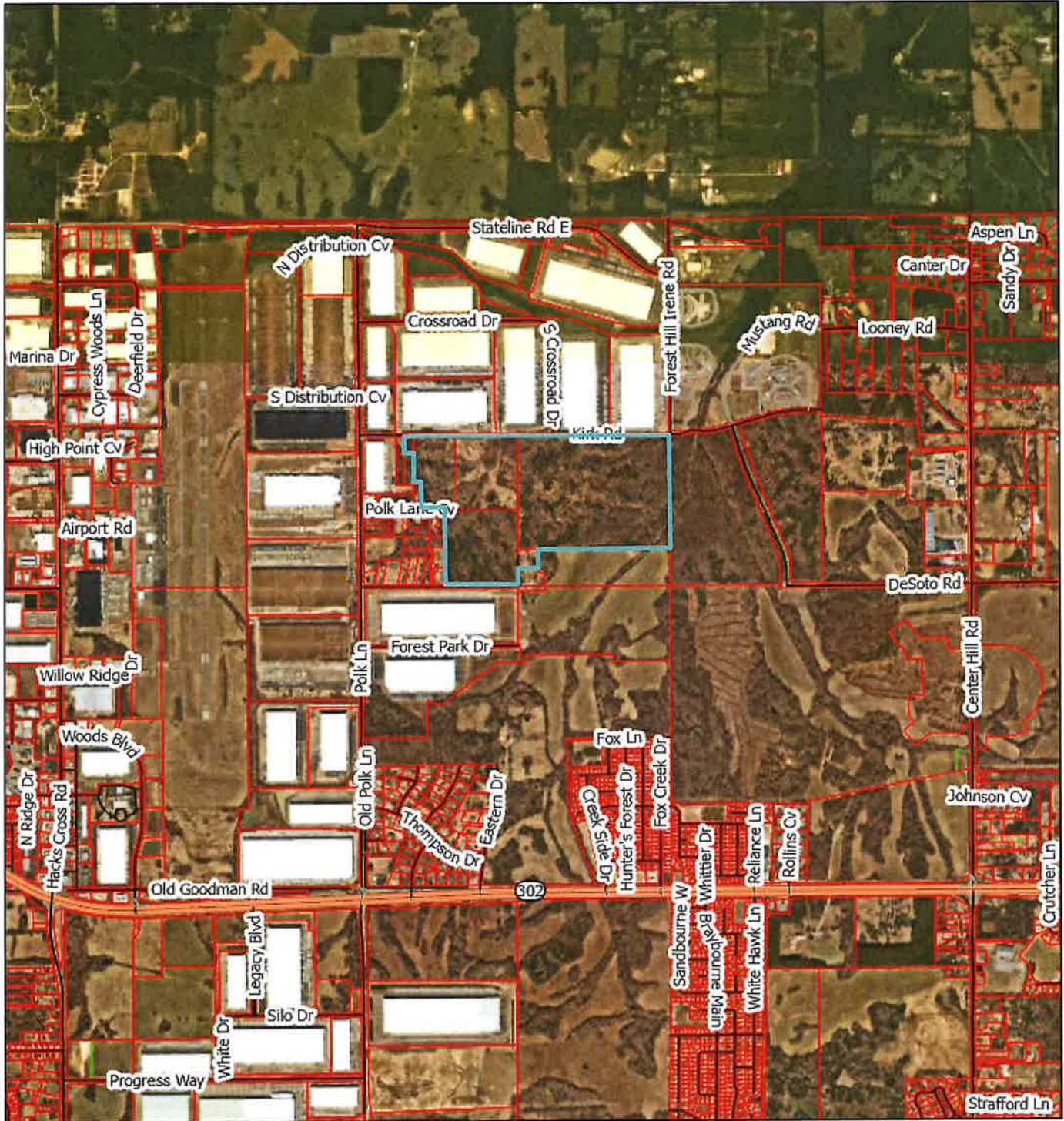
1. Improvements to be the responsibility of the developer and not the responsibility of the City of Olive Branch.
2. Future applications shall comply with the City's land development regulations.
3. On future Final Plat applications, remove references to "existing lot lines". The land is un-platted, the existing lines delineate tax parcels as opposed to lots.
4. Phase 1 to include Kirk Road widening and construction of S. Crossroad Dr. extension abutting Lot 1. Phase 2 to complete Kirk Road widening and complete construction of S. Crossroad Dr. extension. Sub-phasing to create additional industrial lots is permissible; however, these public infrastructure improvements shall be completed in 2nd platting phase.
5. Although dedication of right-of-way for Forest Hill Irene is required, the developer is not responsible for its construction unless access from Lot 3 were to be proposed and approved. Likewise, improvements to DeSoto road are not required unless access from Lot 2 were to be proposed and approved.
6. Civil plan set for grading, drainage, roads and utilities to be approved by the City Engineer.
7. The developer shall install drainage pipe, erosion control material, sewer mains and service, water mains, fire hydrants, and services, curb and gutter for all streets, and gravel or soil cement base for the streets and asphalt (layering and thickness to be determined by City Engineer), before the plat of the subdivision is recorded as may be determined to be necessary of the City Engineer. A performance guarantee must be filed for the remainder of the improvement in the amount set by the City Engineer. This may include, but is not necessarily limited to additional asphalt and sidewalks.
8. Streetlight plans to be submitted to the City Engineer for approval.
9. Street identifications and traffic control signs to be installed by the developer to City specifications.
10. With the exception of overhead electrical transmission lines that may be required in the industrial park, all other utilities and services (electric, telephone, cable, etc.) to be installed underground.

CHECKED FOR SUBMISSION TO THE COMMISSION BY:  DATE: 7/2/25

MOTION BY: _____ SECOND BY: _____

VOTE	DORR	JONES	LEWIS	LONG	SENGER	SINGH	STRATTON
YES	_____	_____	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____	_____	_____

Aerial Location Map



7/1/2025, 3:25:02 PM

1:36,112

Addresses

Tax Parcels

PRELIMINARY 2025 LANDROLL

<all other values>

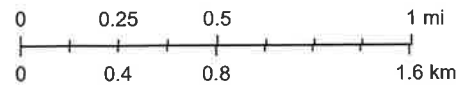
Roads

State Highways

Local

Private

Ramp



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UTILITY MAP



7/1/2025, 3:13:50 PM

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