



Agenda
City of Olive Branch
Design Review Advisory Committee Meeting
4:00 PM
March 5, 2026

Call to Order:

Roll Call:

Approval of Minutes:

1. Minutes of Meeting on August 28, 2025

Old Business:

New Business:

1. Design Review Application for SM Lawrence, submitted by Amanda Lacey, AERC PLLC, on behalf of property owner, SM Lawrence. The request is to renovate an existing building and to construct a new 4200 square foot building at the rear of the existing building with metal panels used as a principal design element on the façade. The 0.68 +/- acre subject property is zoned C-2, Highway Commercial District and is located on the northwest side of Industrial Dr approximately 840 feet west of Old Craft Rd, known as Lot 12, Craft Road Industrial Park, 8211 Industrial DR. (File # DR-26-0001).

Adjournment

**MINUTES FOR THE REGULAR MEETING OF THE
DESIGN REVIEW ADVISORY COMMITTEE FOR AUGUST 28, 2025**

CALL TO ORDER

The Olive Branch Design Review Advisory Committee meeting was called to order by Mr. Tony Jones, Chairman, on Thursday, August 28, 2025, located in the Planning/Engineering Conference Room #143, 9200 Pigeon Roost Road, Olive Branch, Mississippi, at 4:00 p.m.

ROLL CALL

Tony Jones asked for the roll call. Tony Jones, Henry Wilson and Alvin Lunz were present and a quorum was established. Joey Scola and Marc Naylor were absent. Jason Gambone, Director of Planning and Development, Venard Asongayi, Assistant Director, Kevin Norman, Senior Planner, and Jennifer James, Planning Technician were present from the Planning and Development Department.

APPROVAL OF THE MINUTES OF THE REGULAR MEETING OF MAY 1, 2025

Mr. Wilson made a motion to approve the minutes of the May 1, 2025 meeting as submitted. The motion was seconded by Mr. Lunz, and approved as follows:

Tony Jones	YES	Marc Naylor	Absent	Joey Scola	Absent
Henry Wilson	YES	Alvin Lunz	YES		

OLD BUSINESS

NEW BUSINESS

1. Design Review Application for ARCO #EM118 submitted by Tom Barnes, Pickering Firm, on behalf of property owner R/DSP Head and Olive Branch COS. The request is to construct a building addition at approximately 5600 sq. feet with metal panels used as a principal design element on the façade and to improve the parking lot. The 4.49 +/- acre subject property is zoned M-2, Heavy Industrial District and is located on the north side of Marina Dr approximately 2000 feet west of Hacks Cross Rd, known as Holiday Industrial Park Ph 1 Sec B, Lot 10, 10600 Marina Dr. (File # DR25-0008)

• APPROVAL SUMMARY

The subject property is Lot 10 of Holiday Industrial Park Ph 1 Sec B, and is located within the M-2, Heavy Industrial District. The current use of the property is a vacant building. The vacant building is 22' high and 14,560 sf with EIFS cladding. The proposed additions are a ± 5,177 sf expansion on the northwest corner of the vacant building; a ± 1,746 sf canopy on the north side of the vacant building; and a fuel island on the west side of the existing building. The expansion will be used for garbage truck maintenance.

A landscape plan has been submitted which includes 8 Shumard Oaks as street trees with an underplanting scheme consisting of dwarf wax myrtles and Japanese holly. There are no proposed landscape improvements along the south building façade.

The building expansion will be visible from Marina Dr., which necessitates DRAC review and approval.

• STAFF PRESENTATION

Kevin Norman, Senior Planner, presented the staff report, which is included herein by reference (File DR25-0008).

• **DESIGN REVIEW ADVISORY COMMITTEE INQUIRY AND STAFF RESPONSE**

None

• **PUBLIC MEETING**

Mr. Jones opened the public meeting.

○ **Proponents:**

- Blake Minichan, ARCO Design/Build, 6263 Poplar Ave, Ste 300, Memphis, TN – he asked for clarification about the building permit and asked if they could do any sitework prior to receiving building permit. He advised they were demolishing the parking lot.

○ **Opponents:**

- None

There being no further members of the public to speak, the chairperson closed the public meeting.

• **DESIGN REVIEW ADVISORY COMMITTEE DISCUSSION**

Mr. Gambone advised he doesn't see a problem with doing that specific sitework before the permit is received, but the City Engineer would need to be the one to make that call. Mr. Jones noted there were no residential areas around. Mr. Jones asked what the existing material is on the side where the expansion was planned. Mr. Wilson asked the applicant if it was corrugated. Mr. Minichan advised they can use a reverse version where the corrugation is not as visible. Mr. Asongayi advised the applicant wanted to do this, but the Board of Zoning Adjustment denied that request because of the area they were building in. This is a different type of area. Mr. Minichan advised that a Reverse R-1 was proposed because the IMP- insulated metal panel was expensive. Mr. Wilson asked about heat and air in the building. Mr. Minichan advised the building was insulated in the winter and there would be fans and open doors in the summer. Mr. Lunz said this would even be an issue unless you're going specifically to this site.

• **MOTION**

Mr. Wilson made a motion for the warehouse expansion building design, subject to the following conditions:

1. Color of the proposed corrugated metal panels to match the color of the existing pre-cast concrete panel.
2. The landscape plan shall be revised to include planting along the existing building south façade to meet interior landscape requirements.
3. The applicant must obtain a building permit before commencing construction.

Mr. Lunz made the second and the motion was approved as follows:

Tony Jones YES
Henry Wilson YES

Marc Naylor Absent
Alvin Lunz YES

Joey Scola Absent

**OTHER BUSINESS
ADJOURNMENT**

There being no further business to conduct, Tony Jones, Chairman, entertained a motion by Mr. Wilson to adjourn. Mr. Lunz made the second and the meeting was adjourned at 4:16 p.m.

Tony Jones YES
Henry Wilson YES

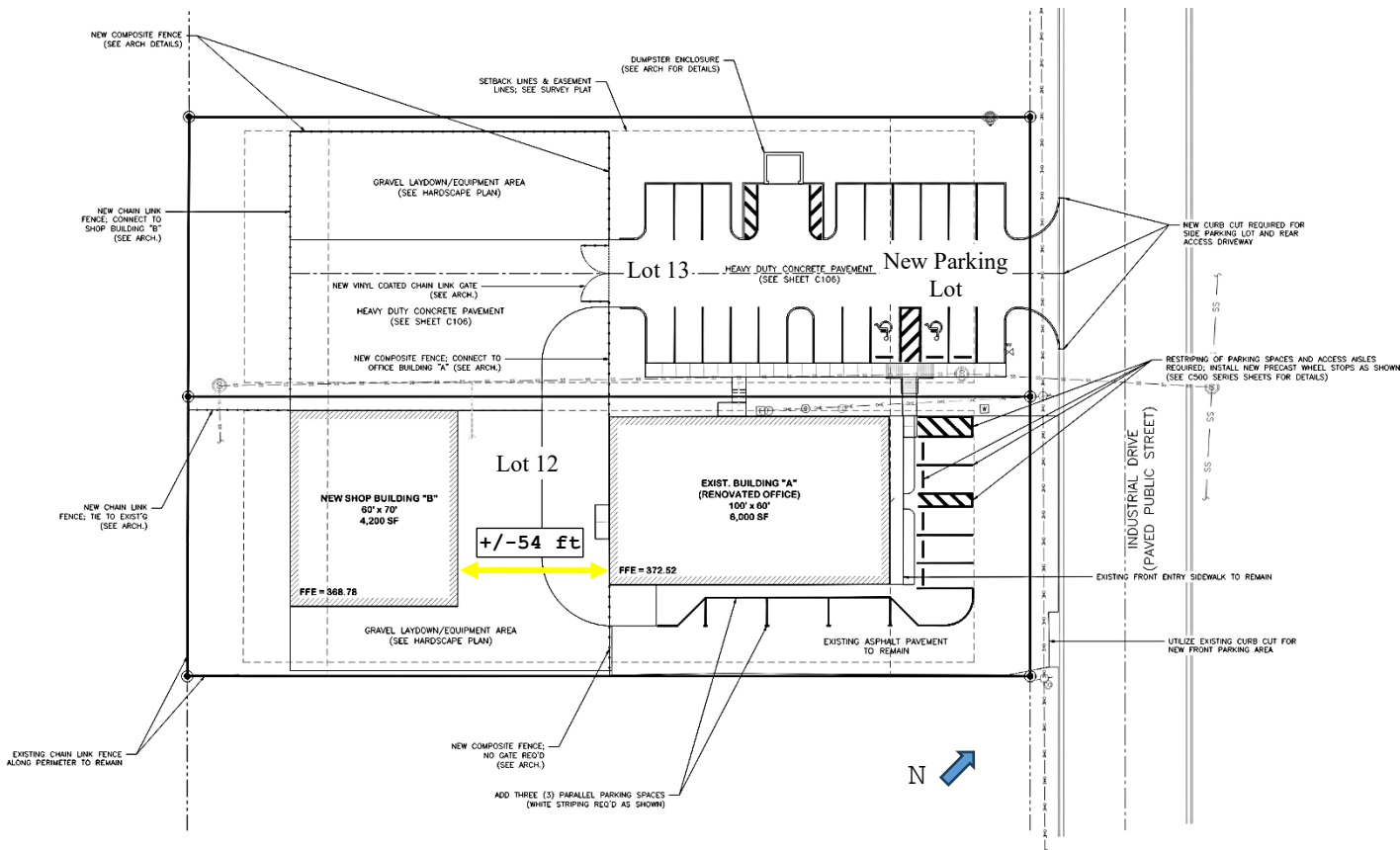
Marc Naylor Absent
Alvin Lunz YES

Joey Scola Absent

REPORT TO THE DESIGN REVIEW ADVISORY COMMITTEE (DRAC)

CAPTION/SUBJECT: Design Review Application for SM Lawrence, submitted by Amanda Lacey, AERC PLLC, on behalf of property owner, SM Lawrence. The request is to renovate an existing building and to construct a new 4,200 square foot building at the rear of the existing building with metal panels used as a principal design element on the façade. The 0.68 +/- acre subject property is zoned C-2, Highway Commercial District and is located on the northwest side of Industrial Dr approximately 840 feet west of Old Craft Rd, known as Lot 12, Craft Road Industrial Park, 8211 Industrial DR. (File # DR-26-0001).

EXHIBIT:
 1. Aerial View
 2. Building Renderings & Elevations;
 Landscape Plan



BACKGROUND: The subject properties are Lots 12 and 13 of Craft Road Industrial Park, which are located within the C-2, Highway Commercial Zoning District. The lots are proposed to be combined into a new single lot 12A under a separate Subdivision application. A Conditional Use application has also been filed for outdoor storage. A new 4,200 sf shop building, laydown yard, fencing, and a landscaped parking area are proposed for DRAC review.

The new shop building will not be visible from Industrial Dr, however, Sec. 36-54 of the Design Review Regulations necessitates DRAC review and approval for:

1. All new construction, additions, change in exterior appearance, exterior alteration, or change in use for either land, buildings, or buildings and land in combination for all categories of non-single-family residential detached construction.
2. The construction, re-construction, alteration, or expansion of a parking area for automobiles, trucks, trailers, recreational vehicles, mobile homes, manufactured homes or other vehicles, whether for customer parking, sales, or temporary or long-term storage.
3. Fences, signs, landscaping requirements, and curb cuts for the land uses regulated by Section 1.02A1, not otherwise reviewable pursuant to the foregoing requirements.

An existing 6,000 sf office building is located upon Lot 12. This building has a brick front façade with a metal overhang facing Industrial Dr. There is existing metal siding on the north and south sides. No exterior renovations are planned for this building except parking log placement and re-stripping of 5 parking spaces within the parking area.



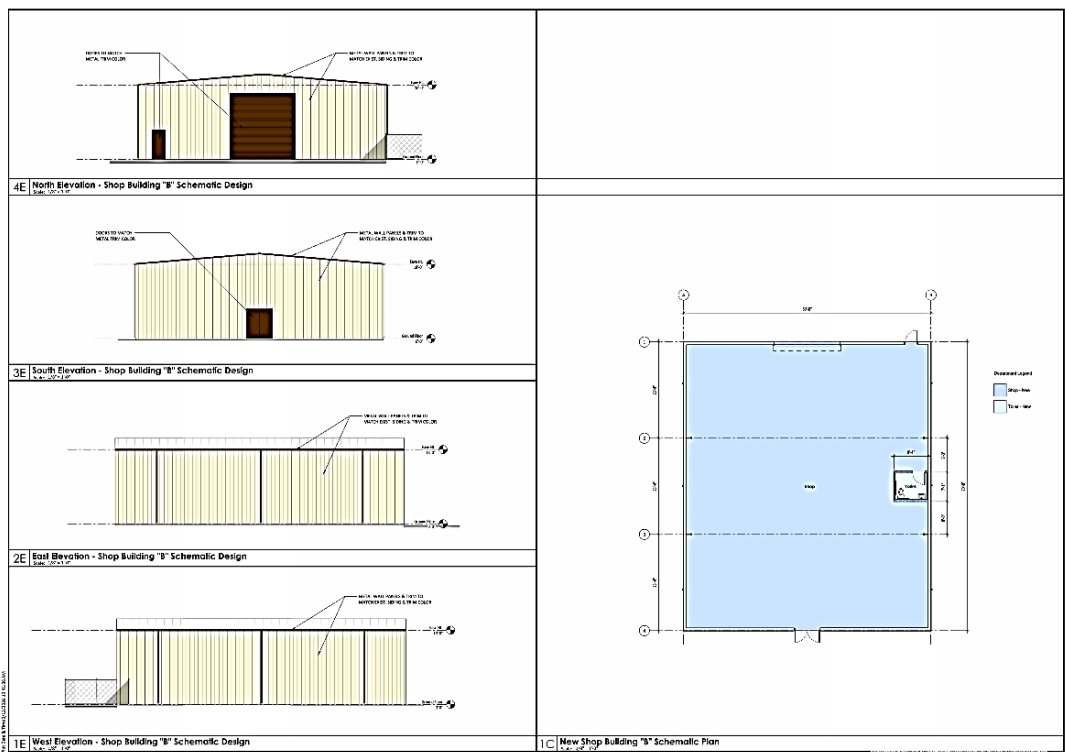
The owner plans to construct a 4,200 sf shop building approximately 54 ft behind the existing office building. The new shop building is proposed to be constructed of metal siding with an eave height of 18 ft. The metal siding panels will match the existing office building metal siding in color and type. A brown gable roof is also proposed. The laydown/equipment area surrounding the shop is proposed to consist of heavy-duty concrete and 610 limestone behind a composite fence.

The new parking lot will be located on Lot 13 and will consist of 20 new heavy-duty concrete parking spaces with a trash enclosure and landscaping. The submitted landscape plan includes a plant schedule table with plant species, numbers, and sizes. Parking island trees are included, in addition to the required street trees.

The applicant has proposed new composite fencing with a vinyl coated chain-link gate to enclose the laydown yard on the northern side of the site. Landscape screening materials would be placed in front of this fencing.

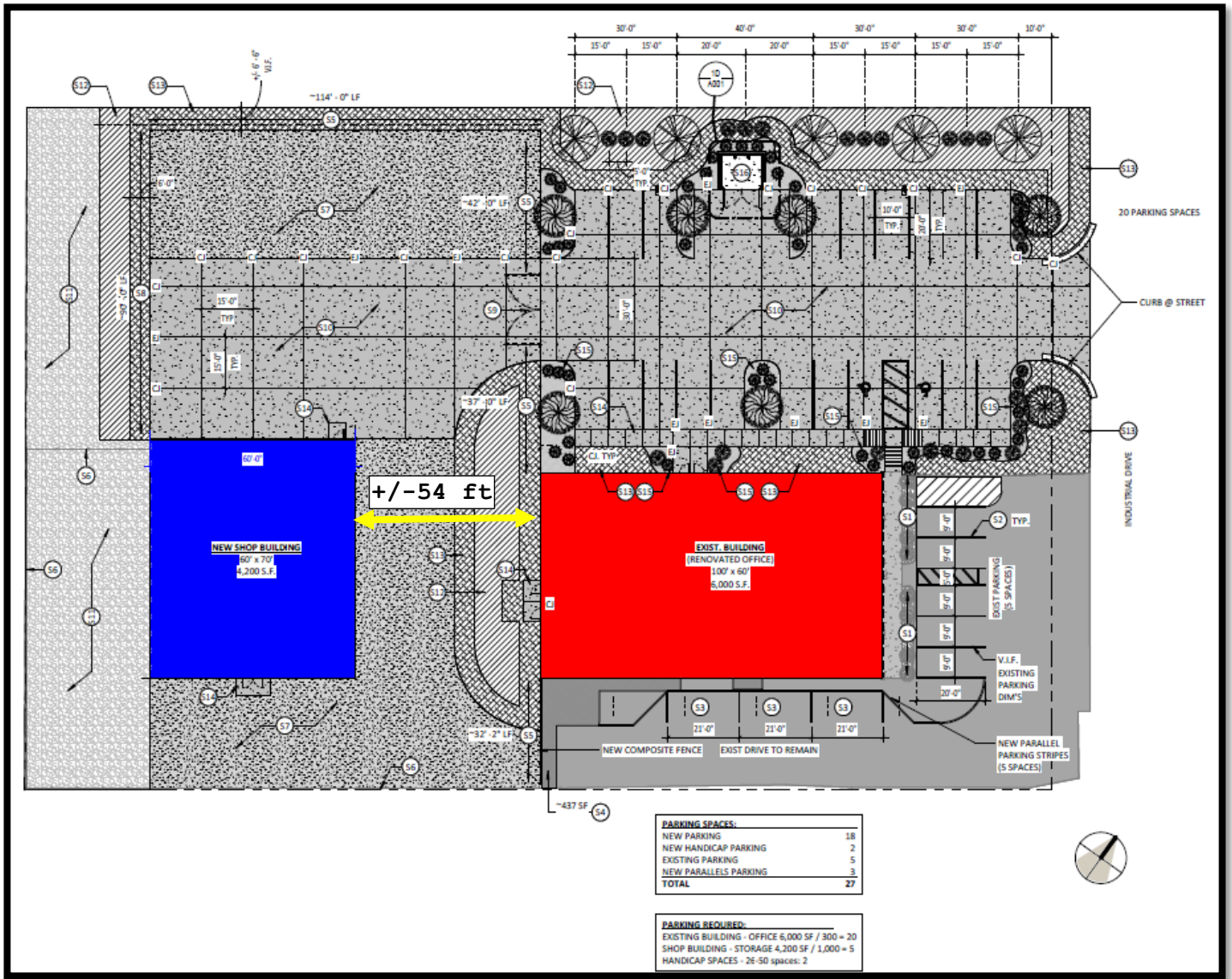
Composite fencing with a vinyl coated chain-link gate is also proposed on the southern side of the site.

ANALYSIS: The ± 4,200 sf shop building will be constructed toward the rear of the site, in the proposed laydown yard. As depicted below, the shop building is shown with metal siding matching the existing office building metal siding in color and type.



Proposed Shop Building Facades

The landscape streetscape plan meets the existing ordinance for consistent landscape treatment along public streets. The landscape plan includes trees within each parking island to meet the requirements of the landscape ordinance within parking areas. The landscape plan also includes a Plant Schedule on the landscape plan showing species, size, and number of each plant material used.



Proposed Landscape Plan

An analysis of viewsheds of the rear of Lot 12 from I-22/Hwy 78 indicate the existing on-site vegetation is adequate and will screen the new shop building.



I-22/Hwy 78 Viewshed Analysis

RECOMMENDED MOTION: Approve the shop building materials, parking area, and laydown yard, subject to the following conditions:

1. The proposed metal shop building siding shall match the metal siding on the existing office building.
2. All fencing material(s) and gates facing Industrial Dr must be an opaque composite material.
3. On-site vegetation along I-20/Hwy 78 shall be preserved.
4. The applicant must obtain a building permit before commencing construction.

PREPARED BY: Karina Norman DATE: 2/23/2026
 CHECKED FOR SUBMISSION TO THE COMMITTEE BY: [Signature] DATE: 2/23/2026
 MOTION BY: _____ SECOND BY: _____

VOTE	JONES	LUNZ	NAYLOR	SCOLA	WILSON
YES	_____	_____	_____	_____	_____
NO	_____	_____	_____	_____	_____
ABSTAIN	_____	_____	_____	_____	_____

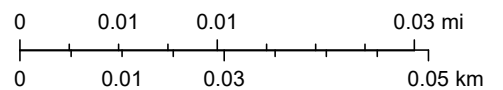
Aerial View



2/20/2026, 2:24:44 PM

1:1,128

- | | |
|---------------------------|---------------|
| PointAddresses | Roads |
| County Outline | Interstate |
| Municipalities | US Highway |
| Tax Parcels | State Highway |
| <all other values> | Local Road |
| PRELIMINARY 2024 LANDROLL | Private Road |
| PRELIMINARY 2025 LANDROLL | Ramp |
| | IH |



Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodastystyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



DESIGN REVIEW SUBMITTAL FOR

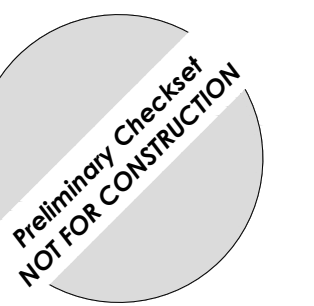
Office Renovation & New Shop Building

S.M Lawrence

8211 Industrial Drive
Olive Branch, MS 38654

AERC PROJECT NUMBER: 25129

ISSUE DATE: 02.12.2026

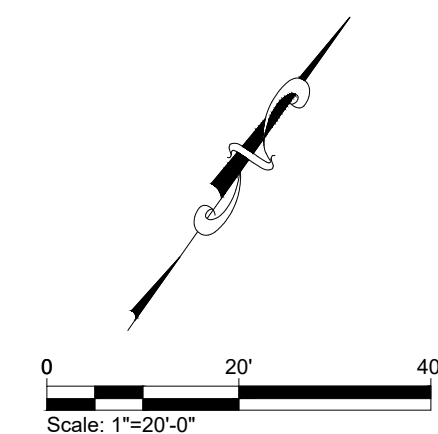
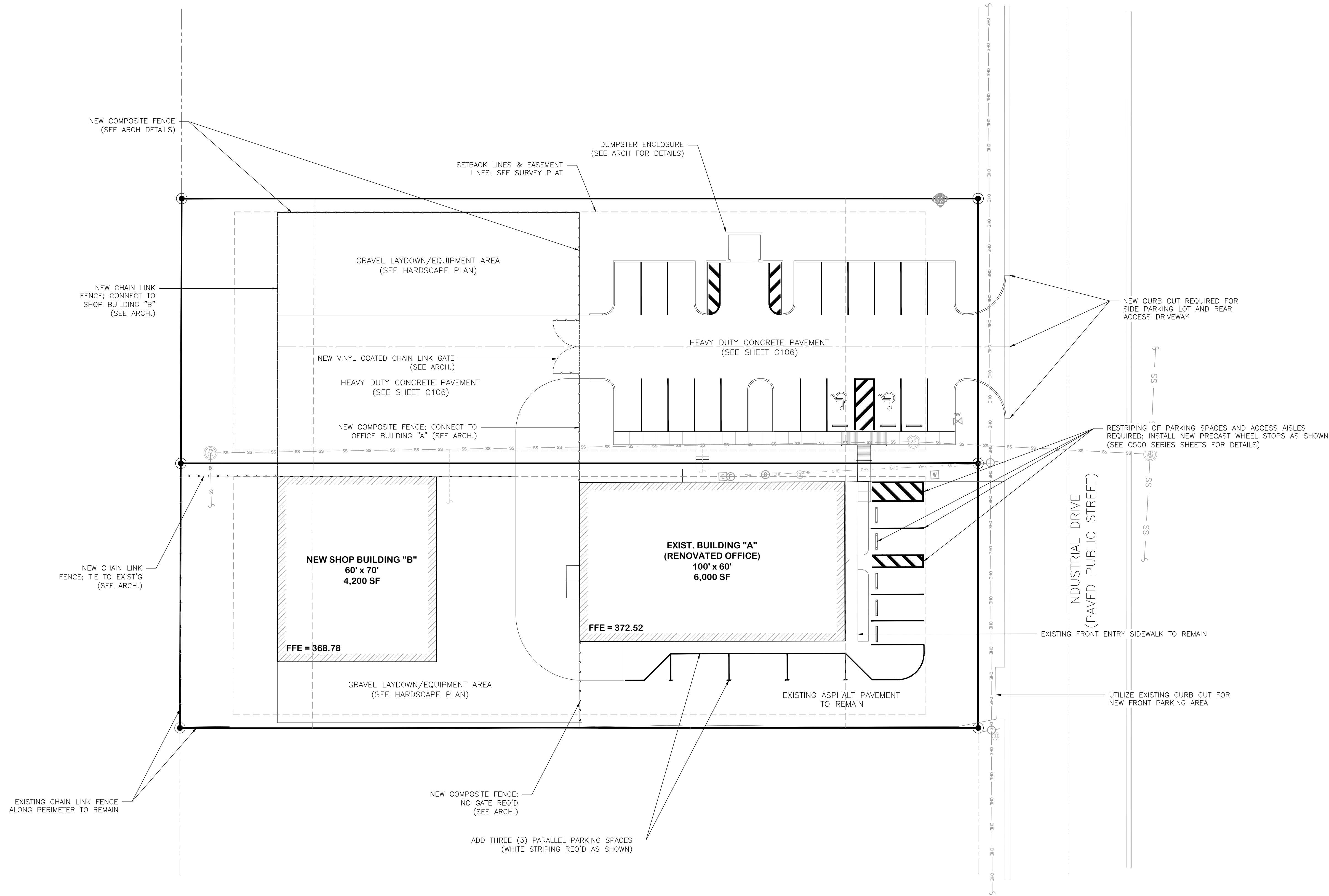


LEGEND

- BOUNDARY CORNERS
- — — — — PROPERTY LINE BOUNDARY
- - - - - SETBACK LINE
- - - - - ADJOINER PROPERTY LINE
- Ⓢ NUMBER OF PARKING SPACES

SITE NOTES:

1. ALL PAVEMENT DIMENSIONS ARE TO EDGE OF GUTTER, UNLESS OTHERWISE NOTED. ALL CURB DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL STRIPING AND SIGNAGE SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PAVEMENT MARKINGS IN THE RIGHT-OF-WAY ARE REQUIRED TO BE THERMOPLASTIC. ALL OTHER PAVEMENT MARKINGS AND PARKING STRIPES ARE ALLOWED TO BE PAINT (UNLESS OTHERWISE NOTED OR SPECIFIED BY THE OWNER).
4. ALL ACCESSIBLE ROUTES AND ACCESSIBLE PARKING BAYS SHALL MEET THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS.
5. SEE SHEET C100 FOR GENERAL GUIDELINES AND RECOMMENDATIONS FOR COMMENCEMENT OF WORK.
6. REFER TO C500 SERIES FOR ADDITIONAL DETAILS.



1 SITE PLAN
SCALE: 1" = 20'

Plot Date & Time: 2/19/2026 9:28 AM

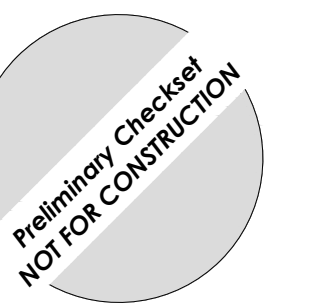
Office Renovation & New Shop Building
S.M. Lawrence
8211 Industrial Drive
Olive Branch, MS 38654

Project No.: 25129
Date: 2.19.2026
Drawn by: MSC
Checked by: MSC

REVISIONS

95% CONSTRUCTION DOCUMENTS

C101
SITE PLAN



REVISIONS	

LEGEND

	PROPERTY LINE
	SILT FENCE
	LIMITS OF DISTURBANCE
	SOLID SOD DITCH TREATMENT
	TEMPORARY SEDIMENT POND
	DIRECTION FLOW ARROWS
	CONSTRUCTION ENTRANCE
	24" ROCK DITCH CHECK OR EQUIVALENT DITCH CHECK STRUCTURE
	12" WATTLE CHECK FOR INLETS

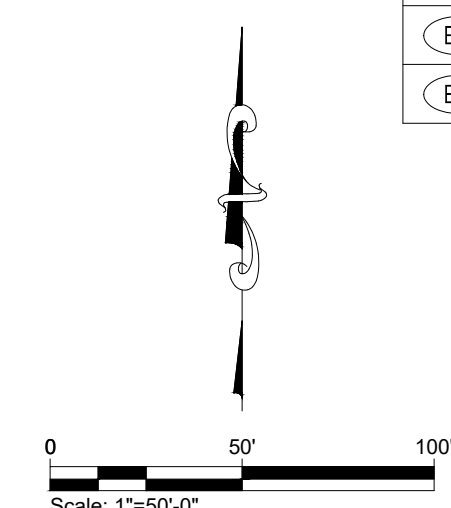
- EROSION & SEDIMENT CONTROL NOTES:**
- SEE SHEET C100 FOR GENERAL EROSION CONTROL GUIDELINES AND RECOMMENDATIONS.
 - THIS PLAN SHALL BE UPDATED AND AMENDED BY THE CONTRACTOR SO AS TO APPROPRIATELY RESPOND TO THE CHANGING SITE CONDITIONS AS THE PROJECT MOVES FROM THE EXISTING TO PROPOSED STATE.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES AND/OR HAY BALES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER AND SHALL MAINTAIN ALL EROSION CONTROL MEASURES FOR THE ENTIRE LENGTH OF THE PROJECT.
 - ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, SEEDED AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
 - SEE STORM WATER POLLUTION PREVENTION PLAN FOR HOUSEKEEPING CONTROLS.
 - CONTRACTORS SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN IN THE BOUNDARIES OF THE PROJECT PRIOR TO INITIATION OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY FOR THEIR UTILITY LINES, WHETHER SHOWN IN THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
 - CONTRACTOR SHALL SET ASIDE AN AREA NEAR THE CONSTRUCTION ENTRANCE FOR ALL CONCRETE WASHDOWN OPERATIONS. THE CONTRACTOR SHALL INSTALL AN EARTHEN BERM AROUND THE WASHDOWN AREA TO ENSURE THAT RUNOFF IS NOT ALLOWED TO LEAVE THE AREA. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THIS AREA FOR THE ENTIRE LENGTH OF THE PROJECT.
 - BEFORE ANY CONSTRUCTION ACTIVITY CAN BEGIN CONTRACTOR SHALL INSTALL ALL PERIMETER SILT FENCING. ALL INTERIOR SILT FENCING SHALL BE INSTALLED AS THE AREAS OF GRADING BECOMES COMPLETE OR AS NEEDED TO EFFECTIVELY PREVENT EROSION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE MEETING AND MAINTAINING ALL REQUIREMENTS OF THE MDEQ CONSTRUCTION GENERAL PERMIT. THIS INCLUDES, BUT IS NOT LIMITED TO ALL NECESSARY EROSION CONTROL INSPECTIONS AND COMPLETION OF INSPECTION FORMS AS SPECIFIED BY MDEQ. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MDEQ CONSTRUCTION GENERAL PERMIT WILL BE INITIALLY PROVIDED BY THE ENGINEER, BUT SHALL BE MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT START ANY CONSTRUCTION ACTIVITY ON THE SITE UNTIL ALL ONSITE REPRESENTATIVES OF THE CONTRACTOR HAVE A COPY OF THE SWPPP AND MDEQ CONSTRUCTION GENERAL PERMIT IN HAND.

- STORM WATER DETENTION NOTES:**
- PRIORITY SHALL BE GIVEN TO THE CONSTRUCTION OF THE PROPOSED STORM WATER DETENTION BASINS AND THE MODIFICATIONS TO THE EXISTING STORMWATER INFRASTRUCTURE BEFORE MAJOR MASS GRADING OPERATIONS ARE UNDERWAY. GRADING SHALL PROCEED IN A WAY AND MANNER THAT DIRECTS STORM WATER RUNOFF TOWARD THE APPROPRIATE BMPS.
 - ONCE THE STORM WATER DETENTION INFRASTRUCTURE IS INSTALLED AND COMPLETE, THE MASS GRADING OPERATIONS MAY COMMENCE.
 - THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THEIR STORM WATER MANAGEMENT AND EROSION CONTROL IMPLEMENTATION PLAN TO THE ENGINEER FOR REVIEW BEFORE LAND DISTURBING ACTIVITY TAKES PLACE. THIS PLAN SHALL SPECIFICALLY ADDRESS IN NARRATIVE OR GRAPHIC FORM A SEQUENCING PLAN FOR CONSTRUCTION OF DETENTION/SEDIMENT BASINS AND SHALL INDICATE WHEN AND HOW THE PONDS WILL BE CONSTRUCTED IN ORDER TO ENSURE THAT THERE WILL NOT BE AN ADVERSE IMPACT ON ADJACENT PROPERTIES. STORM WATER DETENTION SHALL NOT BE THE LAST ITEM CONSTRUCTED AND SHALL BE GIVEN PRIORITY AT THE BEGINNING OF CONSTRUCTION.

LAND DISTURBANCE AREA: I.B.D. ACRES (OVERALL)
ONSITE DISTURBED AREA: I.B.D. ACRES (00.00%)
OFFSITE DISTURBED AREA: I.B.D. ACRES (00.00%)

EROSION CONTROL PLAN KEY NOTES		
CODE	DESCRIPTION	DETAIL REF.
E1	SILT FENCE	MDOT 6101, 6102, & 6103
E2	ROCK CHECK DAM	MDOT 6101, 6104, 6108 & 6110
E3	CONSTRUCTION ENTRANCE	MDOT 6101 & 6116
E4	TEMPORARY SLOPE DRAIN (WHEN APPLICABLE)	MDOT 6101 & 6125
E5	SOLID SOD DITCH TREATMENT	MDOT 6123
E6	TYPICAL INLET PROTECTION	MDOT 6111 & 6115
E7	SOIL REINFORCEMENT MATTING (DITCH TREATMENT)	MDOT 6124
E8	FLEXAMAT (WHERE APPLICABLE)	AS PER MANUFACTURER

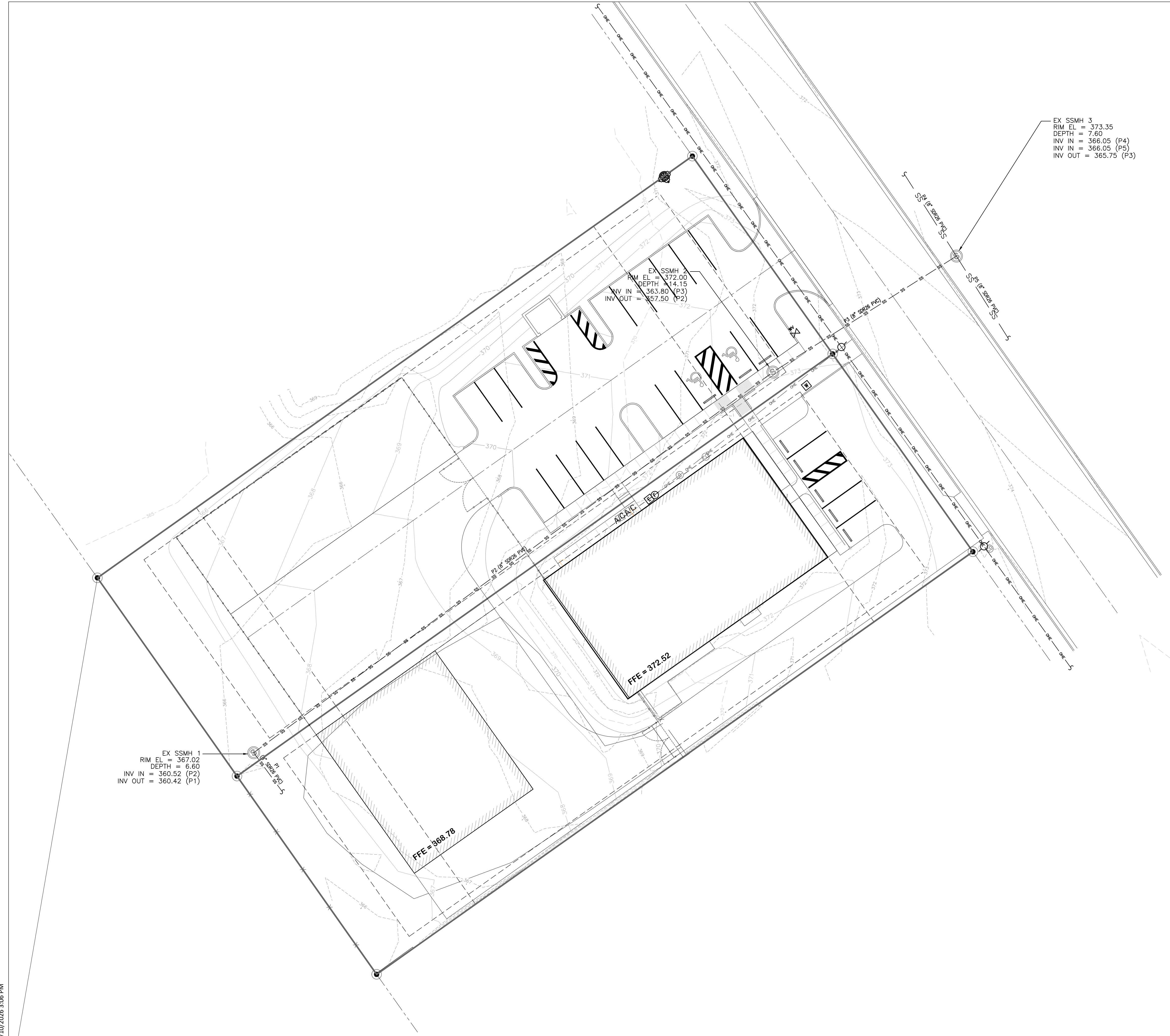
* SILT FENCE MAY OR MAY NOT BE SHOWN GRAPHICALLY ON THE PLAN, BUT THE CONTRACTOR SHALL JUDICIOUSLY USE SILT FENCE AS NEEDED. CONSTRUCTION SEQUENCING AND PHASING WILL DICTATE THE USE OF SILT FENCE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND UTILIZING SILT FENCING THROUGHOUT THE DURATION OF THE CONTRACT.



EX SSMH 3
RIM EL = 373.35
DEPTH = 7.60
INV IN = 366.05 (P4)
INV IN = 366.05 (P5)
INV OUT = 365.75 (P3)

EX SSMH 2
RIM EL = 372.00
DEPTH = 4.15
INV IN = 363.80 (P3)
INV OUT = 367.50 (P2)

EX SSMH 1
RIM EL = 367.02
DEPTH = 6.60
INV IN = 360.52 (P2)
INV OUT = 360.42 (P1)



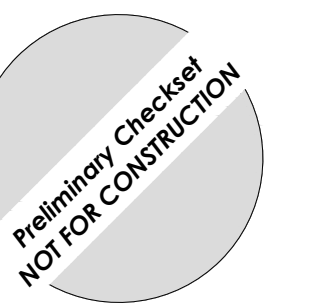
1 EROSION CONTROL PLAN
SCALE: 1" = 50'

Plot Date & Time: 2/10/2026 3:05 PM



ARCHITECTURAL & ENERGY RESOURCES FOR CONSTRUCTION

Douglas W. Thornton, AIA
342 West Valley Street
Hernando, MS 38632
p 662.298.0057
f 662.298.0061
www.AERCpllc.com



Office Renovation & New Shop Building
S.M. Lawrence
8211 Industrial Drive
Olive Branch, MS 38654

Project No.: 25129
Date: 2.10.2026
Drawn by: MSC
Checked by: MSC

REVISIONS

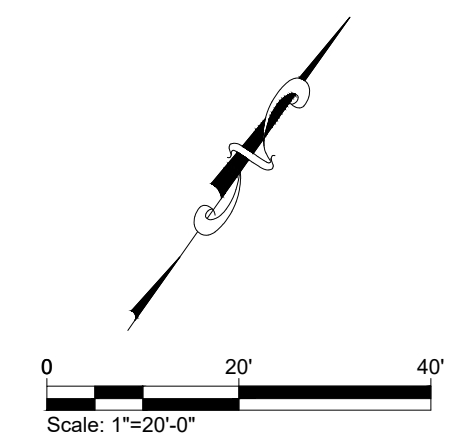
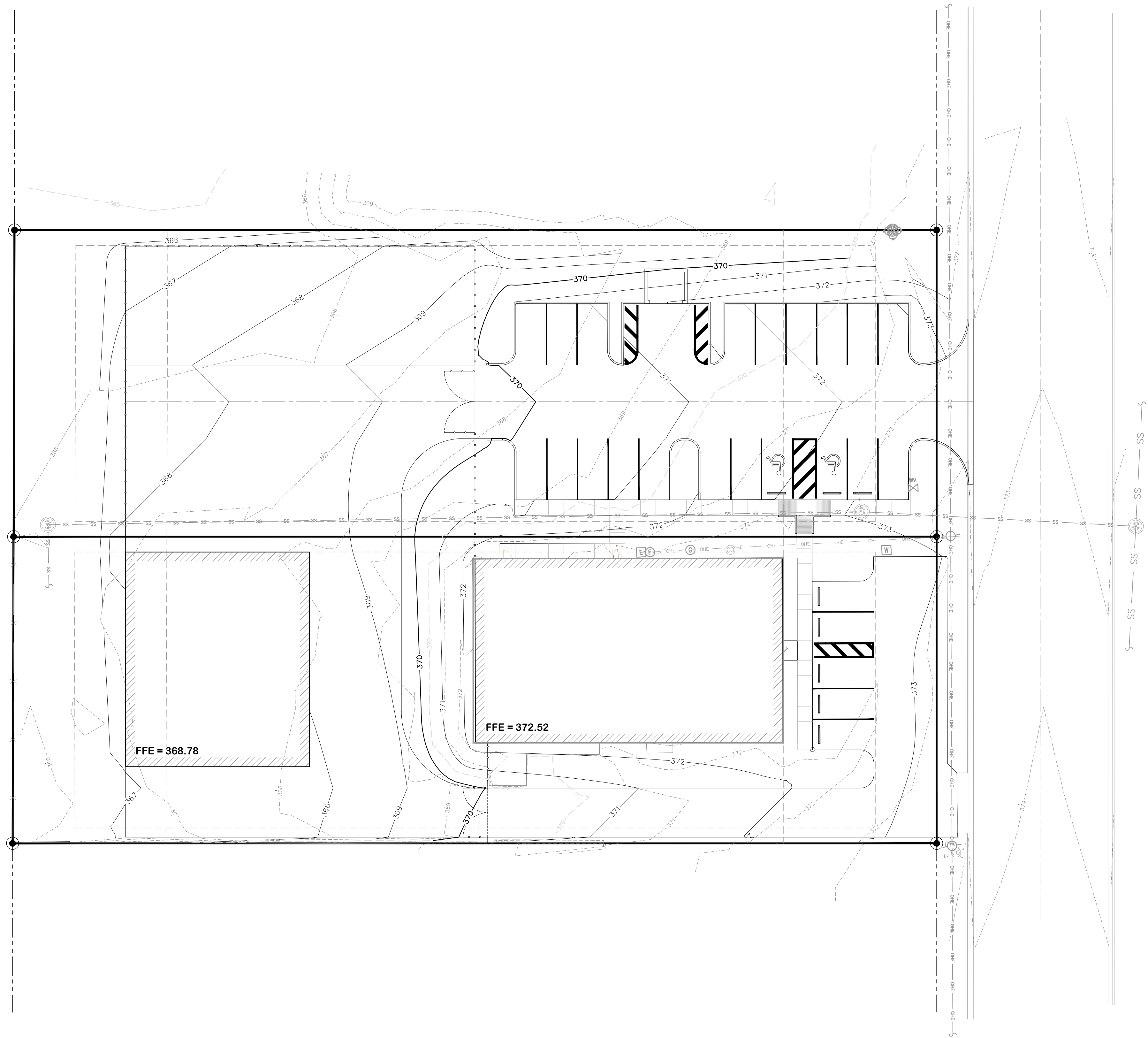
SCHEMATIC DESIGN
C105
GRADING & DRAINAGE PLAN

LEGEND

- EXISTING CONTOUR (MINOR)
- EXISTING CONTOUR (MAJOR)
- PROPOSED CONTOUR (MINOR)
- PROPOSED CONTOUR (MAJOR)
- ==== LIMITS OF DISTURBANCE

GRADING NOTES:

1. SEE SHEET C100 FOR GENERAL GRADING GUIDELINES AND RECOMMENDATIONS.
2. CLEARING AND GRADING MAY BE COMPLETED IN PHASES PER THE DEVELOPER'S REQUEST. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION CONTROL FOR EACH PHASE OF GRADING.
3. BEFORE ANY CONSTRUCTION ACTIVITY CAN BEGIN CONTRACTOR SHALL INSTALL ALL PERIMETER SILT FENCING. ALL INTERIOR SILT FENCING SHALL BE INSTALLED AS THE AREAS OF GRADING BECOMES COMPLETE OR AS NEEDED TO EFFECTIVELY PREVENT EROSION. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION PHASES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
4. ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, SEEDED AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
5. CONTRACTORS SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN IN THE BOUNDARIES OF THE PROJECT PRIOR TO INITIATION OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY FOR THEIR UTILITY LINES, WHETHER SHOWN IN THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.



1 GRADING & DRAINAGE PLAN
SCALE: 1" = 20'

Plot Date & Time: 2/10/2026 3:06 PM

THIS DRAWING AND ITS CONTENTS ARE THE PROPERTY OF AERC, PLLC. IT SHALL NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF AERC, PLLC.

Building Occupant Load Calculation per IBC Section 1004 - Building A						
Name	Function of Area	Area	Area Per Occ.	Area Type	Occupant Load	Egress Width
Building A						
Business Areas	Business Areas (IBC 2018/2021)	2,514.4 SF	150	Gross	17	3.4"
Circulation	(none)	1,046.7 SF				
Elec. / Storage	Accessory Storage Areas, Mechanical Equipment Rooms	253.6 SF	300	Gross	1	0.2"
Meeting Room	Assembly Unconcentrated	1,597.6 SF	15	Net	107	21.4"
Storage	Accessory Storage Areas, Mechanical Equipment Rooms	9.7 SF	300	Gross	1	0.2"
Toilets	(none)	272.2 SF				
Mezzanine	Accessory Storage Areas, Mechanical Equipment Rooms	1,343.4 SF	300	Gross	5	1.0"
		7,037.6 SF			131	26.2"
Total Building Area		7,037.6 SF			131	26.2"

CODE REVIEW SUMMARY:

Applicable Codes: 2018 International Building Code
 2018 International Fire Code
 2018 International Plumbing Code
 2018 International Mechanical Code
 2018 International Fuel Gas Code
 2018 International Energy Conservation Code
 2017 National Electric Code
 2010 ADA Standards for Accessible Design

Occupancy Classifications:
 Separated Mixed Occupancies (IBC 508.4)
 Office Group B Occupancy
 Meeting Room - Assembly A3 Occupancy

Construction Type:
 Type V, B - Non Sprinklered

Allowable Height & Areas:
 Table 504.3: Allowable Height in Feet: 40 Ft. Sprinkled Building
 Table 504.4: Allowable Height in Stories: 1, A3 Non Sprinkled Building
 Table 506.2: Allowable Area per Floor: 9,000 SF, Sprinkled 1 Story
 506.3 Allowable Area Increase for Frontage: 75 %
 $A(f) = 100(F/P - 0.25)W/30$
 Total Allowable Area with All Allowed Increases:
 Table Area + Frontage Area Inc = 15,750 SF
 Total Actual Building Area: 7,037 SF

Exterior Wall Ratings: Not Required due to >30 LF Clear Area & Sprinkler

Occupant Load & Means of Egress:
 See Room Code Schedule for Detailed Occupancies, Total Occupant Load = 131 Occupants

Egress Widths:
 See Room Code Schedule for Specific Room Requirements
 Stairways: 36 Inches
 Egress: Occupant Load x Table Factor = Minimum Required Width
 $131 \times 0.2 = 26.2$ Required Inches
 Compared to 170" Actual Inches -- OK
 Rooms with Occupant Load > 50 Require 2 Exits, See Room Code Schedule
 Exit Travel Distances < 250 LF (See Code Plan)

Plumbing Fixture Requirements:
 Based on A3 Occupancy of 107 Total Occupants:
 = 54 Females = 53 Males

Waterclosets: 0.71 Calc. = 1 Req'd 0.71 Calc. = 1 Req'd
 Urinals: N/A
 Lavatories: 0.27 Calc. = 1 Req'd 0.27 Calc. = 1 Req'd
 Tubs/Showers: N/A N/A
 Drinking Fountains: 0.21 Calc. (2 Min. Req'd)
 Service Sinks: 1 Req'd per Bldg.

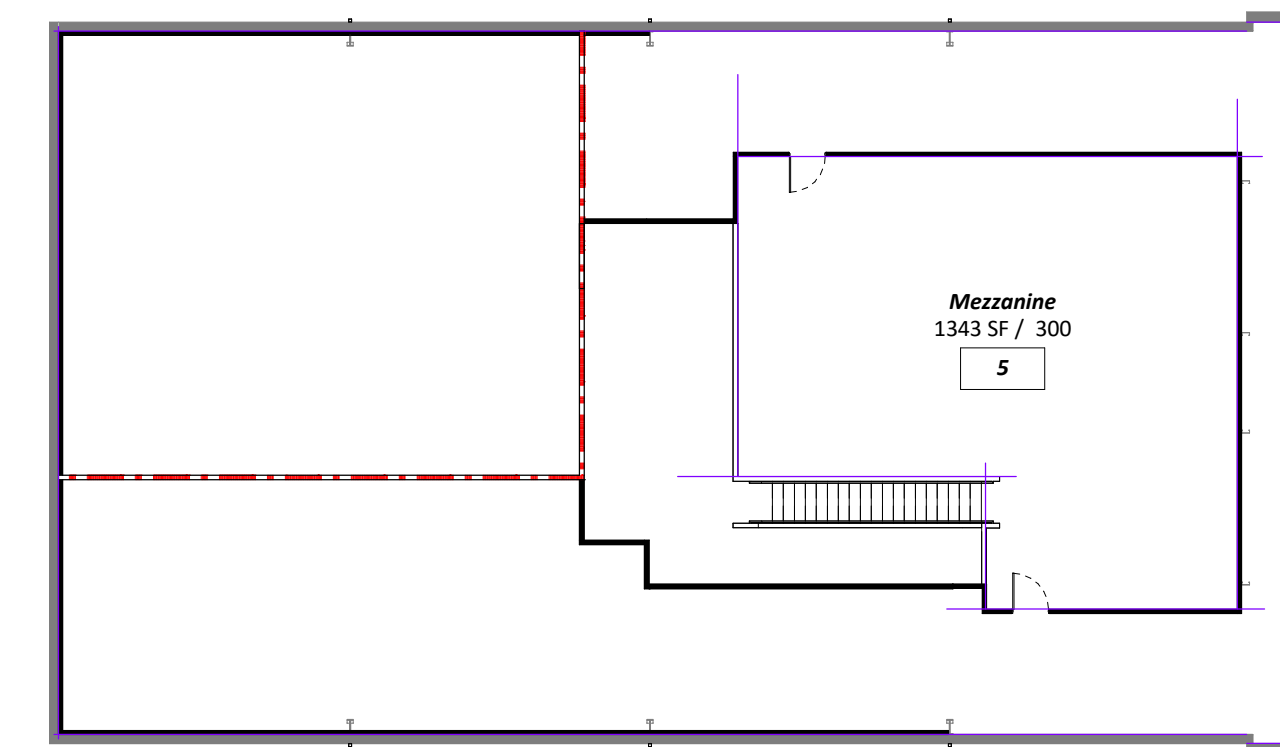
Based on B Occupancy of 24 Total Occupants:
 = 12 Females = 12 Males

Waterclosets: 0.48 Calc. = 1 Req'd 0.48 Calc. = 1 Req'd
 Urinals: N/A
 Lavatories: 0.27 Calc. = 1 Req'd 0.27 Calc. = 1 Req'd
 Tubs/Showers: N/A N/A
 Drinking Fountains: 0.24 Calc. (2 Min. Req'd)
 Service Sinks: 1 Req'd per Bldg.

	Total Fixtures Required:		Total Fixtures Provided:	
	Females	Males	Females	Males
Waterclosets:	2 Req'd	2 Req'd	3	3
Urinals:		N/A		
Lavatories:	2 Req'd	2 Req'd	3	3
Tubs/Showers:	N/A	N/A		
Drinking Fountains:	2 Min. Req'd		2	
Service Sinks:	1 Req'd per Bldg.		1	

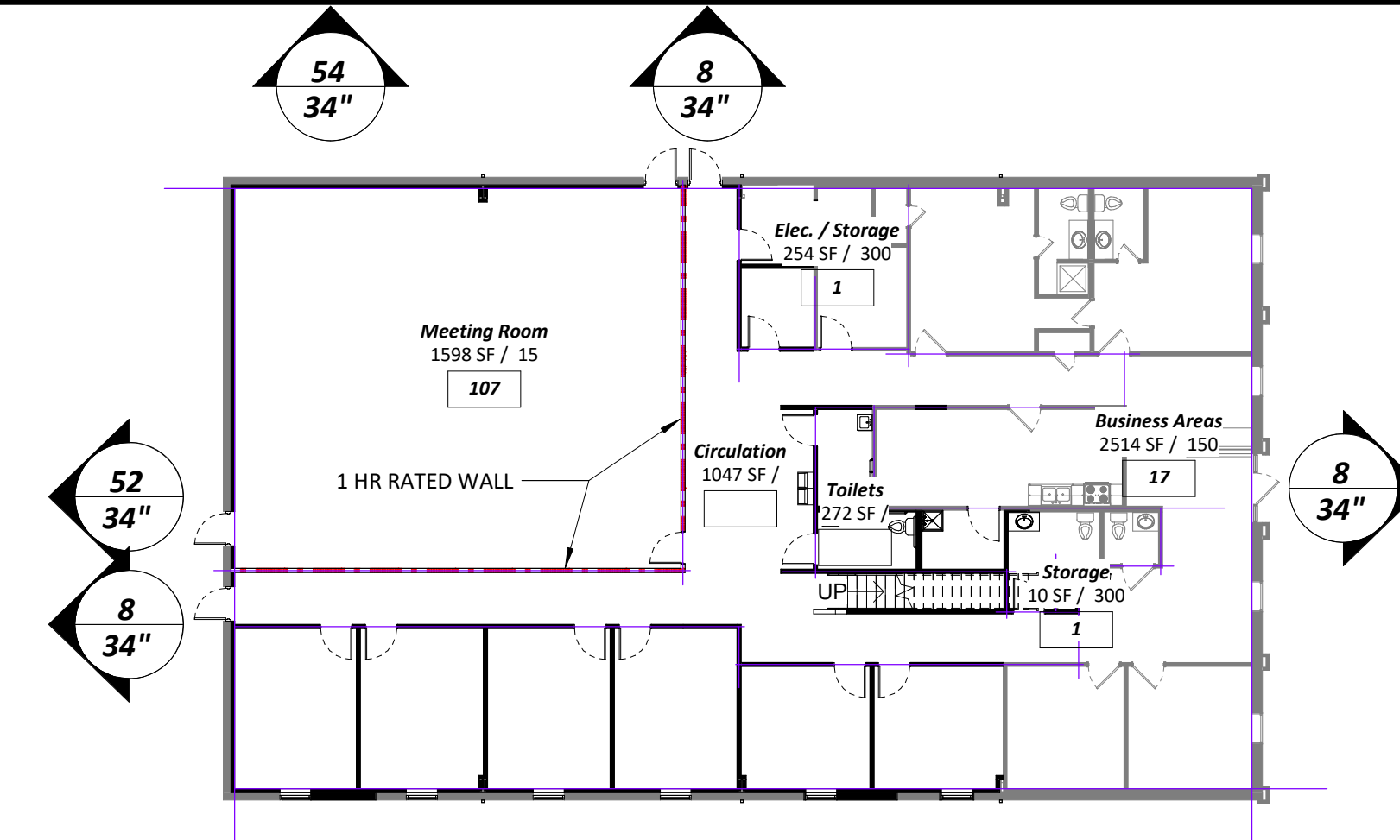
1C IBC 2018 Code Review Summary

Scale: No Scale



1 Life Safety Plan - Mezzanine Building A

Scale: 1/16" = 1'-0"



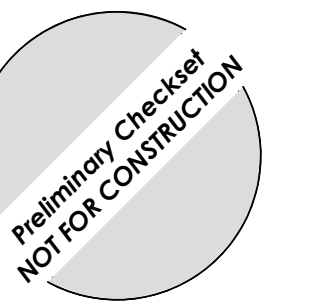
1B Life Safety Plan - 1st Floor Building A

Scale: 1/16" = 1'-0"



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Office Renovation & New Shop Building
S.M Lawrence
 8211 Industrial Drive
 Olive Branch, MS 38654

Project No.: 25129
 Date: 02.12.2026
 Drawn by: DWT
 Checked by: Checker

REVISIONS

SCHEMATIC
DESIGN
LS001A
 Life Safety & Code
 Review - Building A

Building Occupant Load Calculation per IBC Section 1004 - Building B						
Name	Function of Area	Area	Area Per Occ.	Area Type	Occupant Load	Egress Width
Building B						
Janitor	Accessory Storage Areas, Mechanical Equipment Rooms	Not Placed	300	Gross		
Shop	Accessory Storage Areas, Mechanical Equipment Rooms	3,970.0 SF	300	Gross	14	2.8"
Toilets	(none)	58.5 SF				
		4,028.4 SF			14	2.8"
Total Building Area		4,028.4 SF			14	2.8"

CODE REVIEW SUMMARY:

Applicable Codes: 2018 International Building Code
 2018 International Fire Code
 2018 International Plumbing Code
 2018 International Mechanical Code
 2018 International Fuel Gas Code
 2018 International Energy Conservation Code
 2017 National Electric Code
 2010 ADA Standards for Accessible Design

Occupancy Classifications:
Storage, Group S-1

Construction Type:
Type V, B - Non Sprinklered

Allowable Height & Areas:
 Table 504.3: Allowable Height in Feet: 40 Ft. Sprinkled Building
 Table 504.4: Allowable Height in Stories: 1, A3 Non Sprinkled Building
 Table 506.2: Allowable Area per Floor: 9,000 SF, Sprinkled 1 Story
 506.3 Allowable Area Increase for Frontage: 75 %
 $A(f) = 100(F/P - 0.25)W/30$
Total Allowable Area with All Allowed Increases:
 Table Area + Frontage Area Inc = 15,750 SF
Total Actual Building Area: 4,028 SF

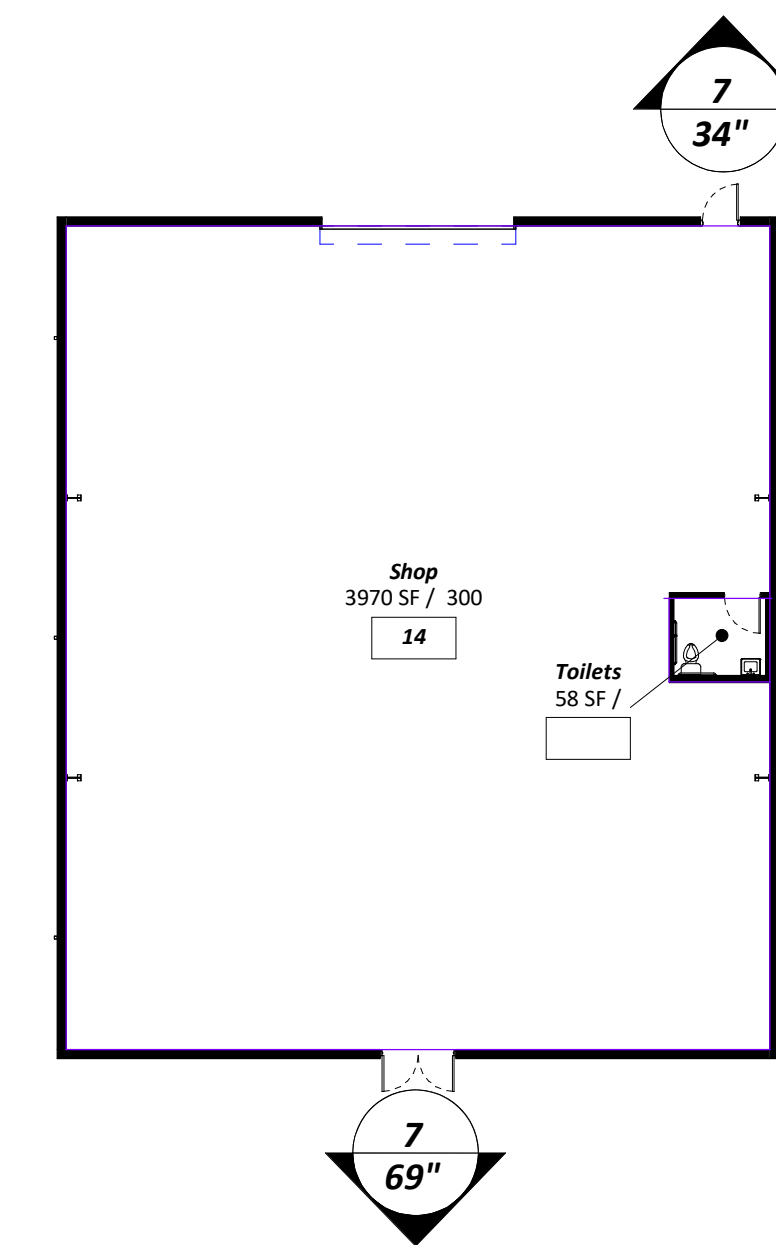
Exterior Wall Ratings: Not Required due to >30 LF Clear Area & Sprinkler

Occupant Load & Means of Egress:
 See Room Code Schedule for Detailed Occupancies, Total Occupant Load = 131 Occupants

Egress Widths:
 See Room Code Schedule for Specific Room Requirements
 Stairways: N/A
 Egress: Occupant Load x Table Factor = Minimum Required Width
14 x 0.2 = 2.8 Required Inches
Compared to 103" Actual Inches -- OK
Rooms with Occupant Load > 50 Require 2 Exits, See Room Code Schedule
Exit Travel Distances < 250 LF (See Code Plan)

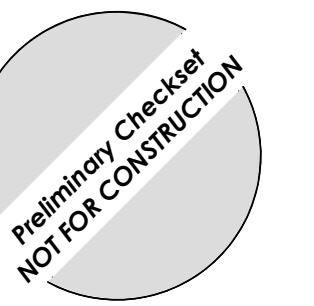
Plumbing Fixture Requirements:
 Based on S1 Occupancy of 14 Total Occupants: Total Fixtures Provided:
 (Single toilet acceptable < 15 occupants)

Waterclosets: 0.07 Calc. = 1 Req'd 1
 Urinals: _____
 Lavatories: 0.27 Calc. = 1 Req'd 1
 Tubs/Showers: N/A
 Drinking Fountains: Not Req'd <15 Occupants - Small Occupancy Exception
 Not provided: <15 Occupants, employee only space, _____
 Service Sinks: provided in adjacent building, no offices, no break rooms _____



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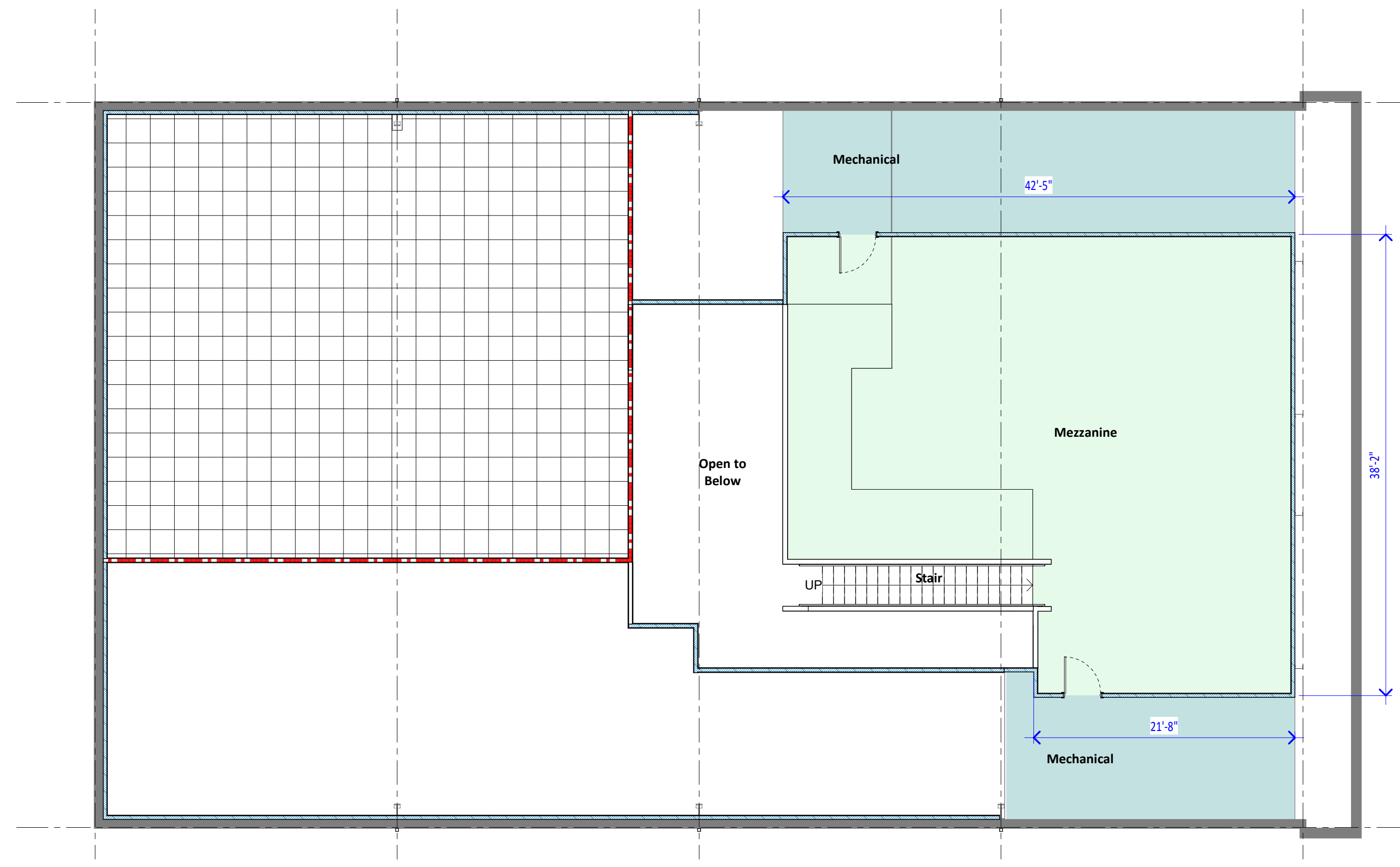
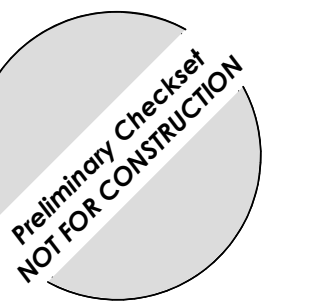
REVISIONS

SCHEMATIC
DESIGN
_LS001B
 Life Safety & Code
 Review - Building B



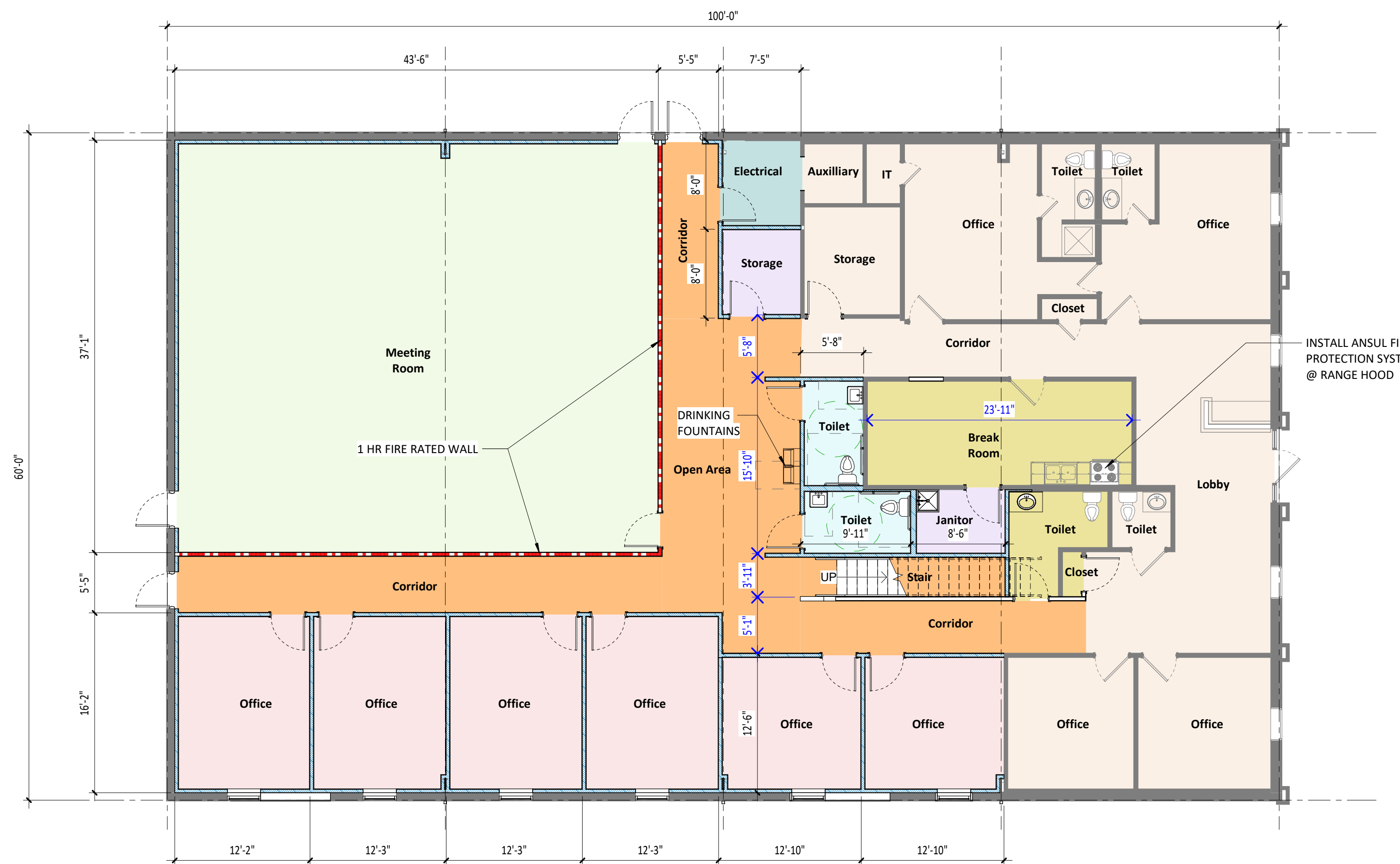
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Department Legend
Mezzanine - Exist w/ Work
Mechanical / Electrical - New

3E Mezzanine - Office Building "A" Schematic Plan
Scale: 1/8" = 1'-0"



Department Legend
Existing - No Work
Existing - Work
Circulation - New
Office - New
Assembly - New
Toilet - New
Mechanical / Electrical - New
Storage - New

1E 1st Floor - Office Building "A" Schematic Plan
Scale: 1/8" = 1'-0"

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Checked by: DWT

REVISIONS

SCHEMATIC
DESIGN
SD101
Office Building "A"
Schematic Plan

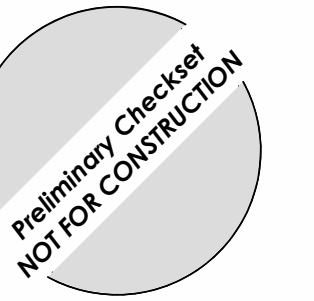




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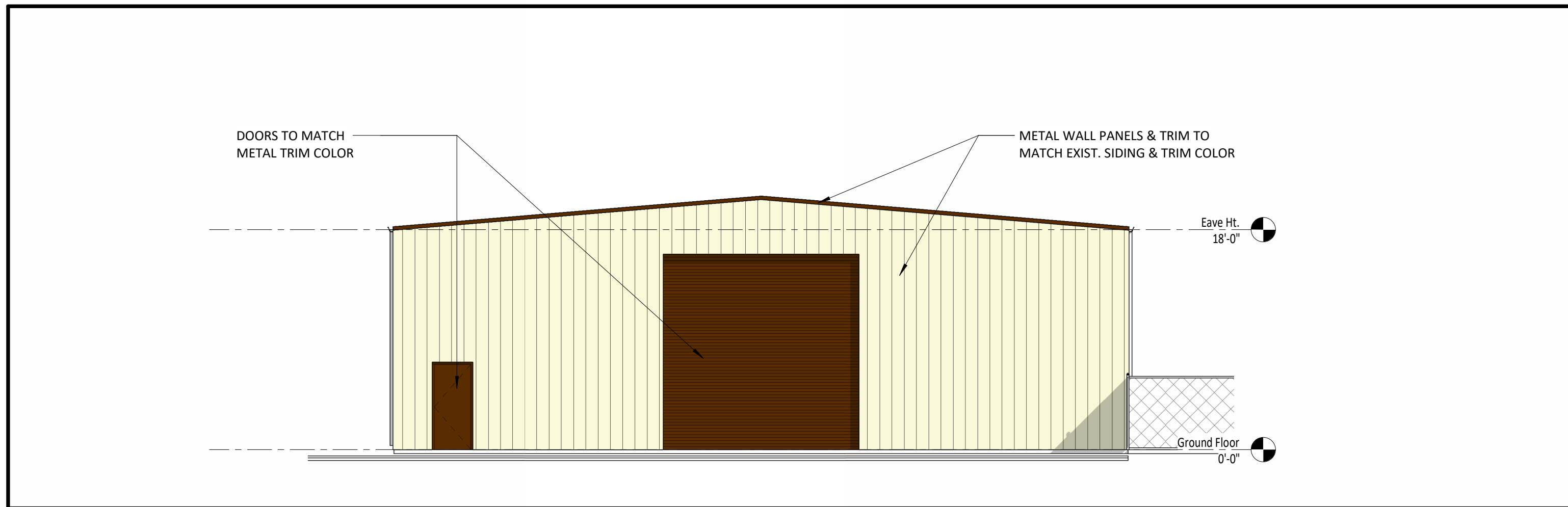
Project No.: 25129
Date: 02.12.2026
Drawn by: RWM
Checked by: DWT

NO.	REVISIONS

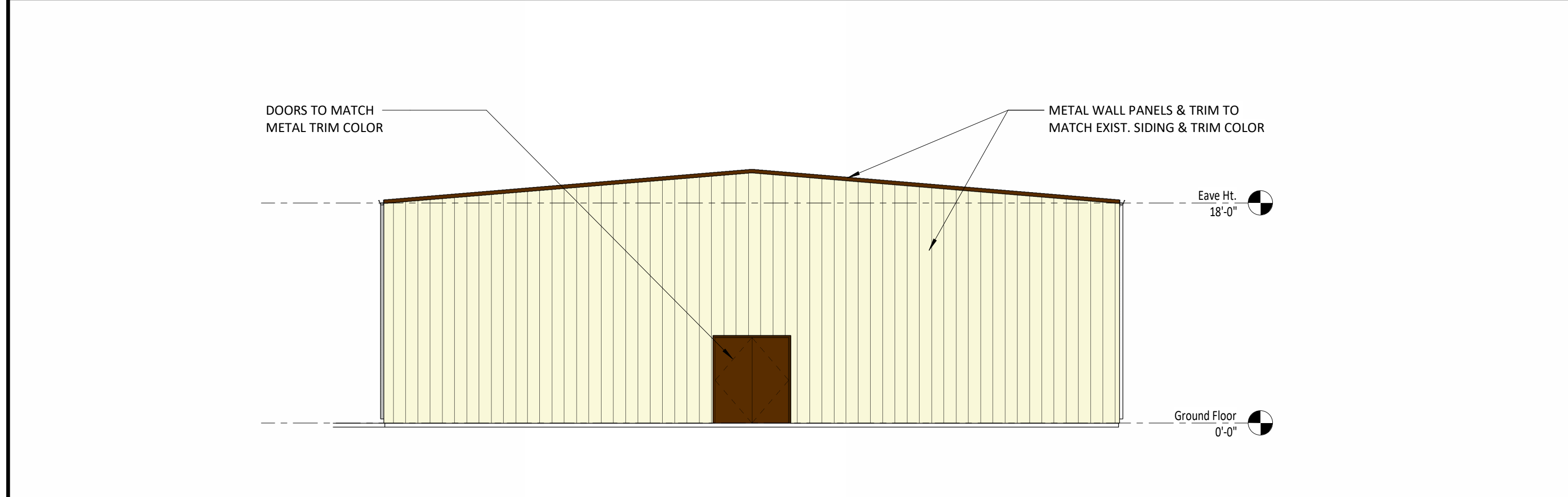
SCHEMATIC
DESIGN

SD102
New Shop Building
"B" Schematic Plan

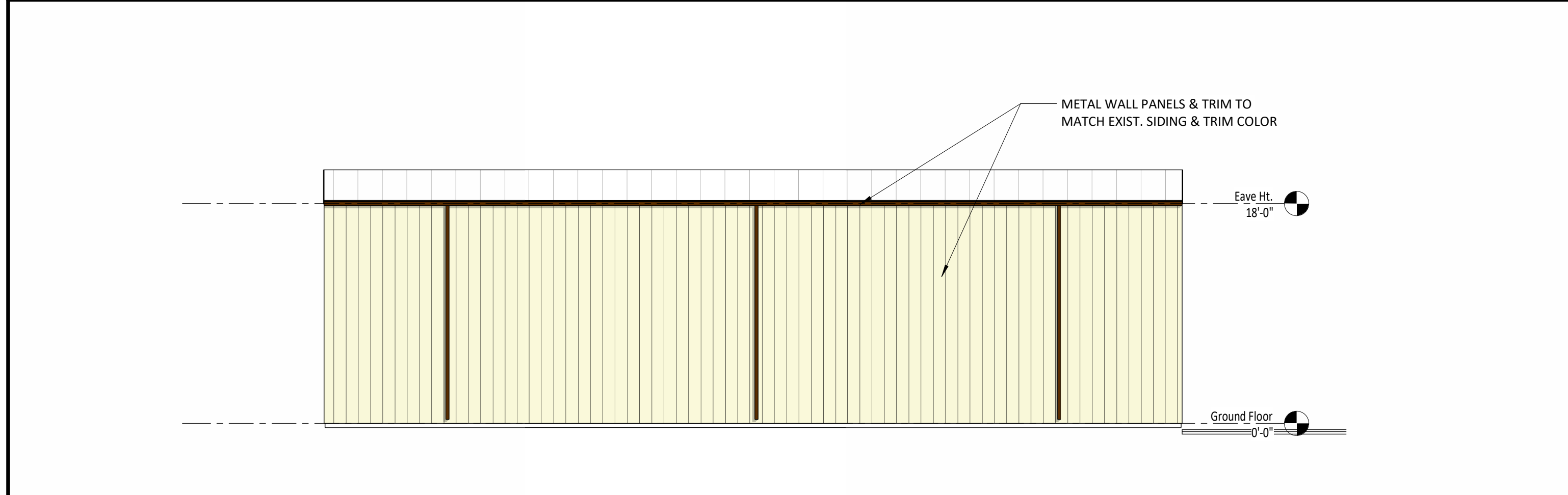
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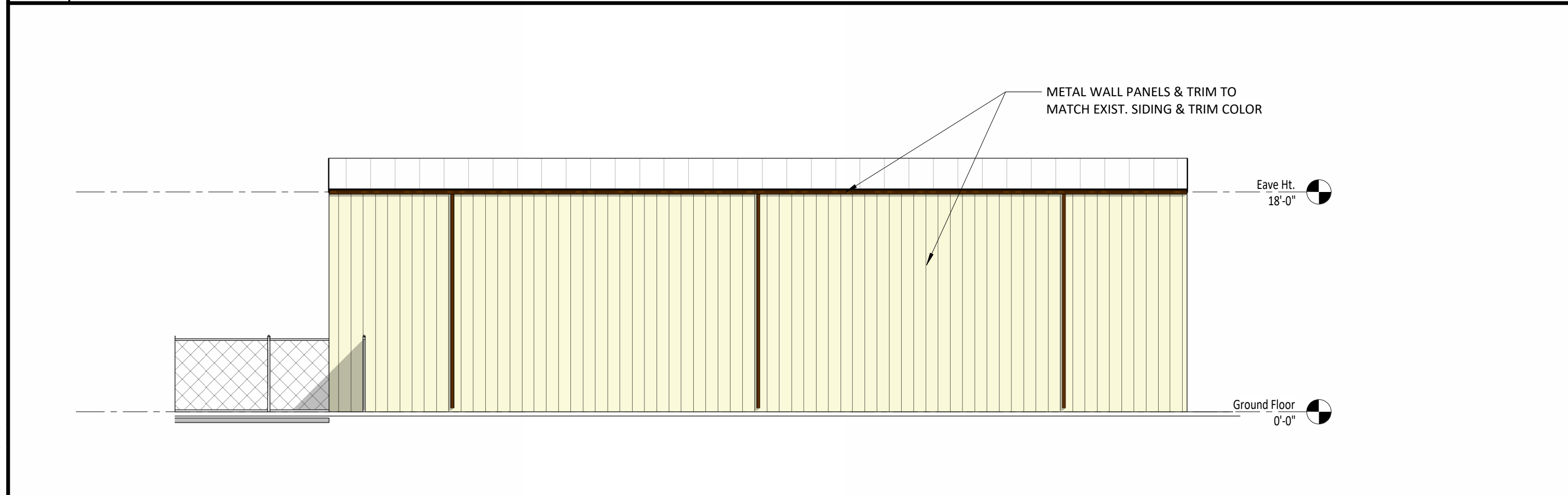
4E North Elevation - Shop Building "B" Schematic Design
Scale: 1/8" = 1'-0"



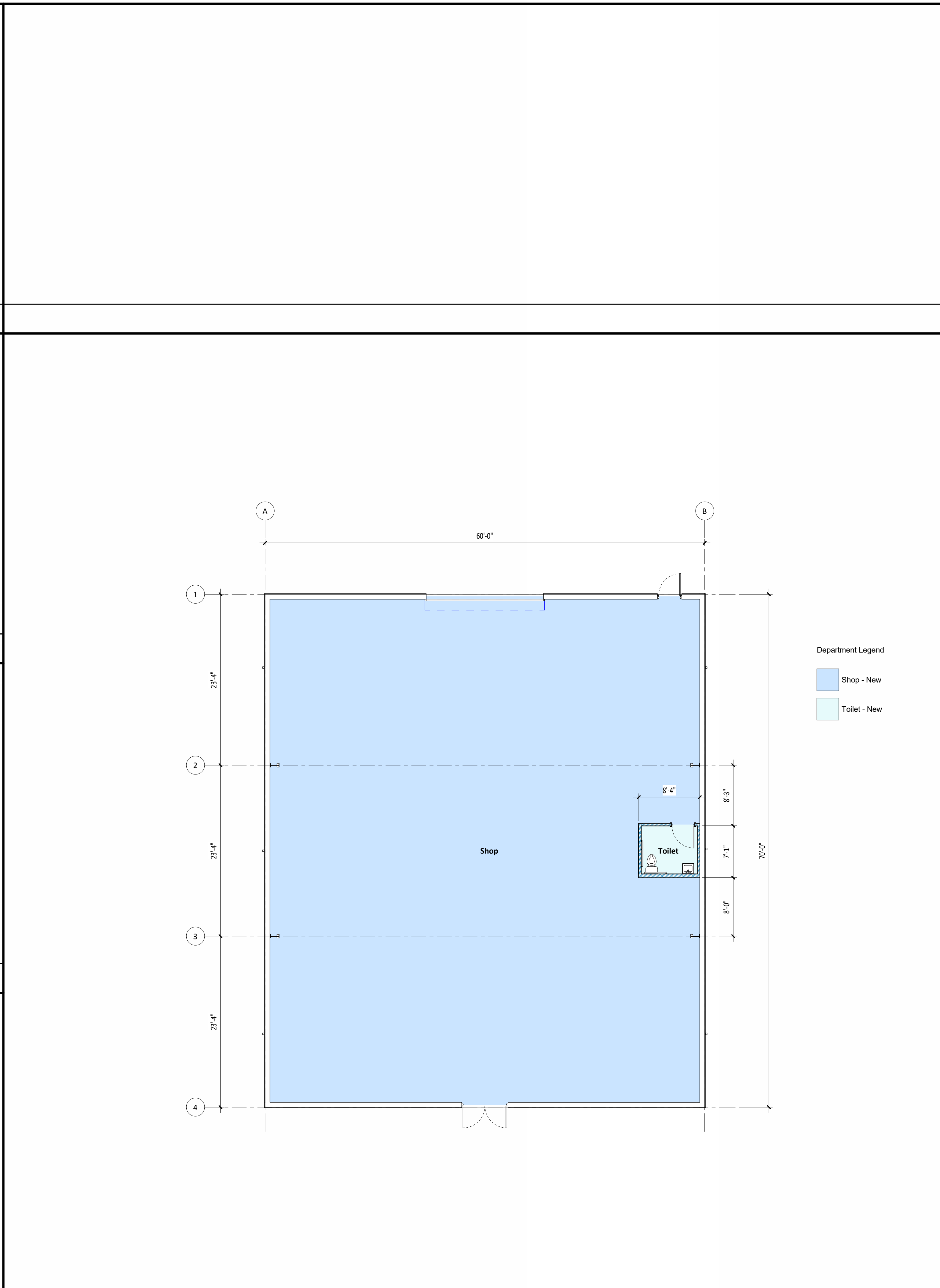
3E South Elevation - Shop Building "B" Schematic Design
Scale: 1/8" = 1'-0"



2E East Elevation - Shop Building "B" Schematic Design
Scale: 1/8" = 1'-0"



1E West Elevation - Shop Building "B" Schematic Design
Scale: 1/8" = 1'-0"



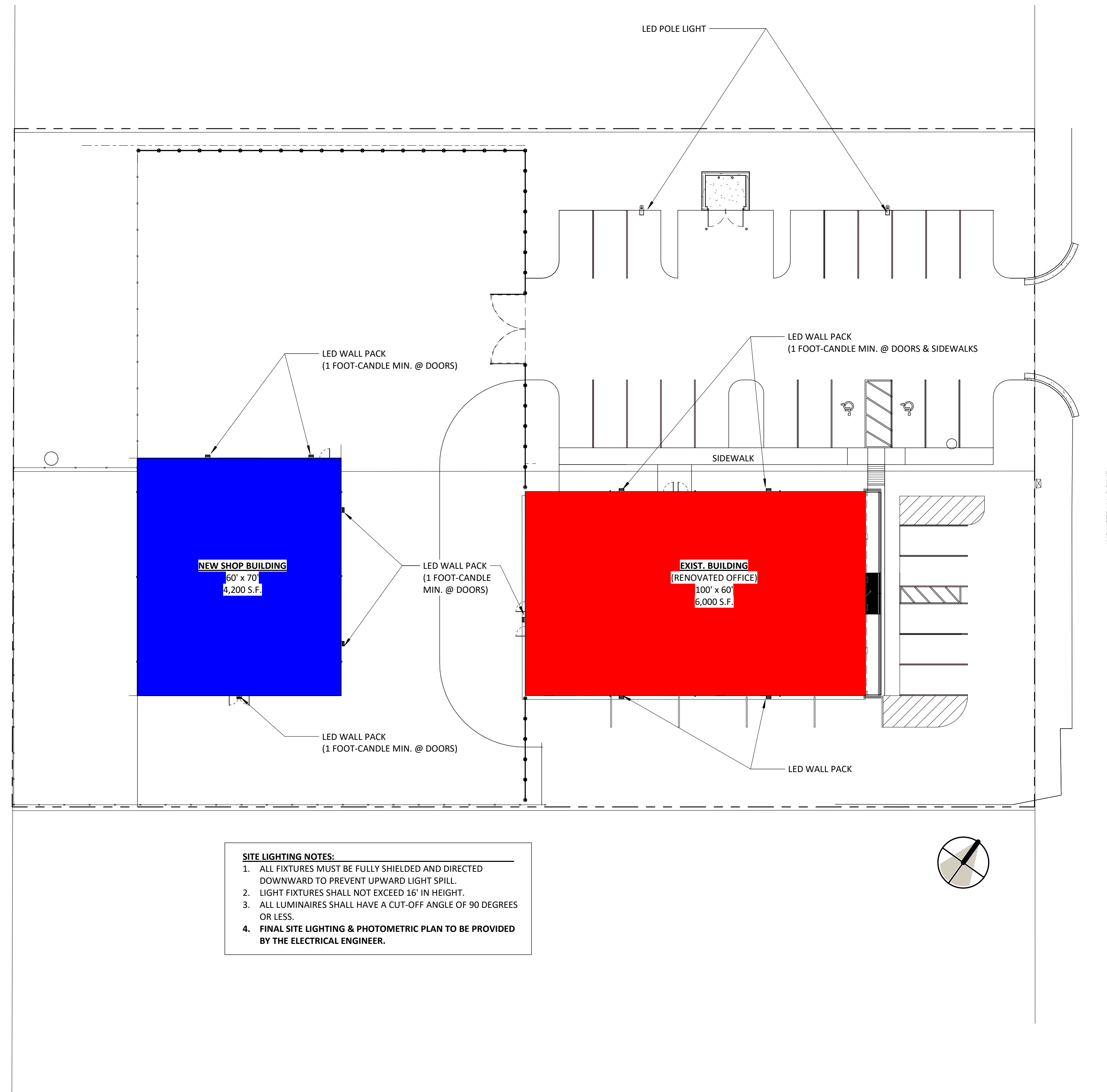
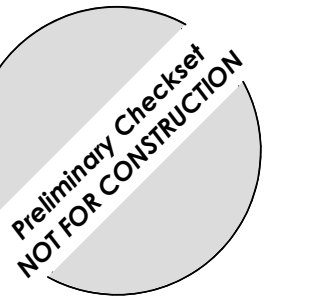
1C New Shop Building "B" Schematic Plan
Scale: 1/8" = 1'-0"



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- SITE LIGHTING NOTES:**
1. ALL FIXTURES MUST BE FULLY SHIELDED AND DIRECTED DOWNWARD TO PREVENT UPWARD LIGHT SPILL.
 2. LIGHT FIXTURES SHALL NOT EXCEED 16' IN HEIGHT.
 3. ALL LUMINAIRES SHALL HAVE A CUT-OFF ANGLE OF 90 DEGREES OR LESS.
 4. FINAL SITE LIGHTING & PHOTOMETRIC PLAN TO BE PROVIDED BY THE ELECTRICAL ENGINEER.

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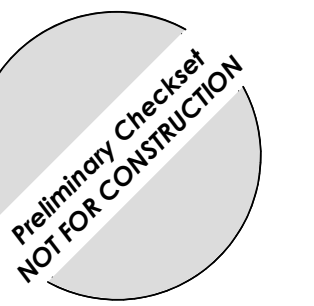
SCHEMATIC
DESIGN
SD103
Site Lighting /
Photometric Plan -
Schematic

Plot Date & Time: 2/12/2026 3:34:13 PM



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SCHEMATIC DESIGN

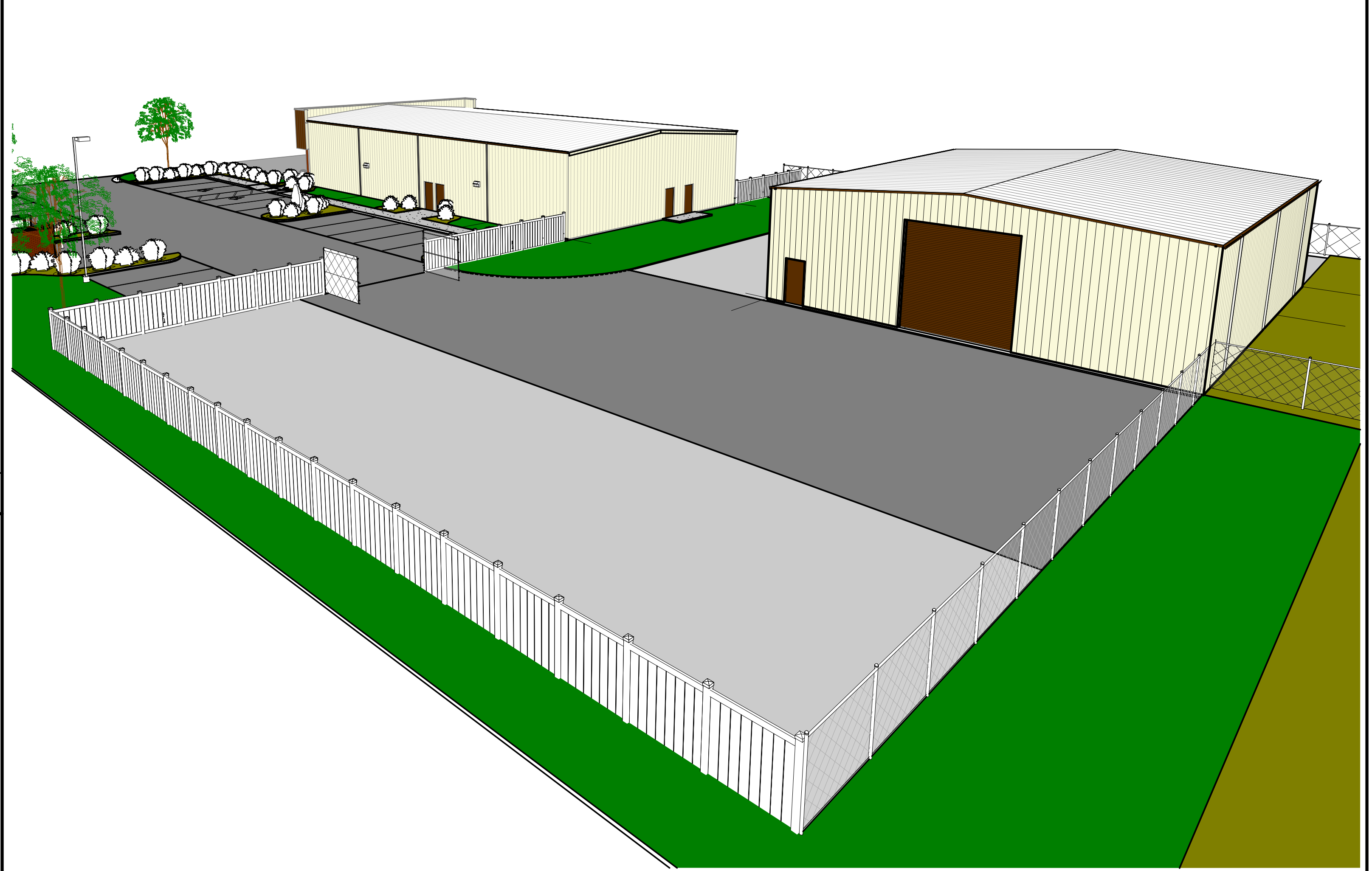
SD010
3D Views & Products



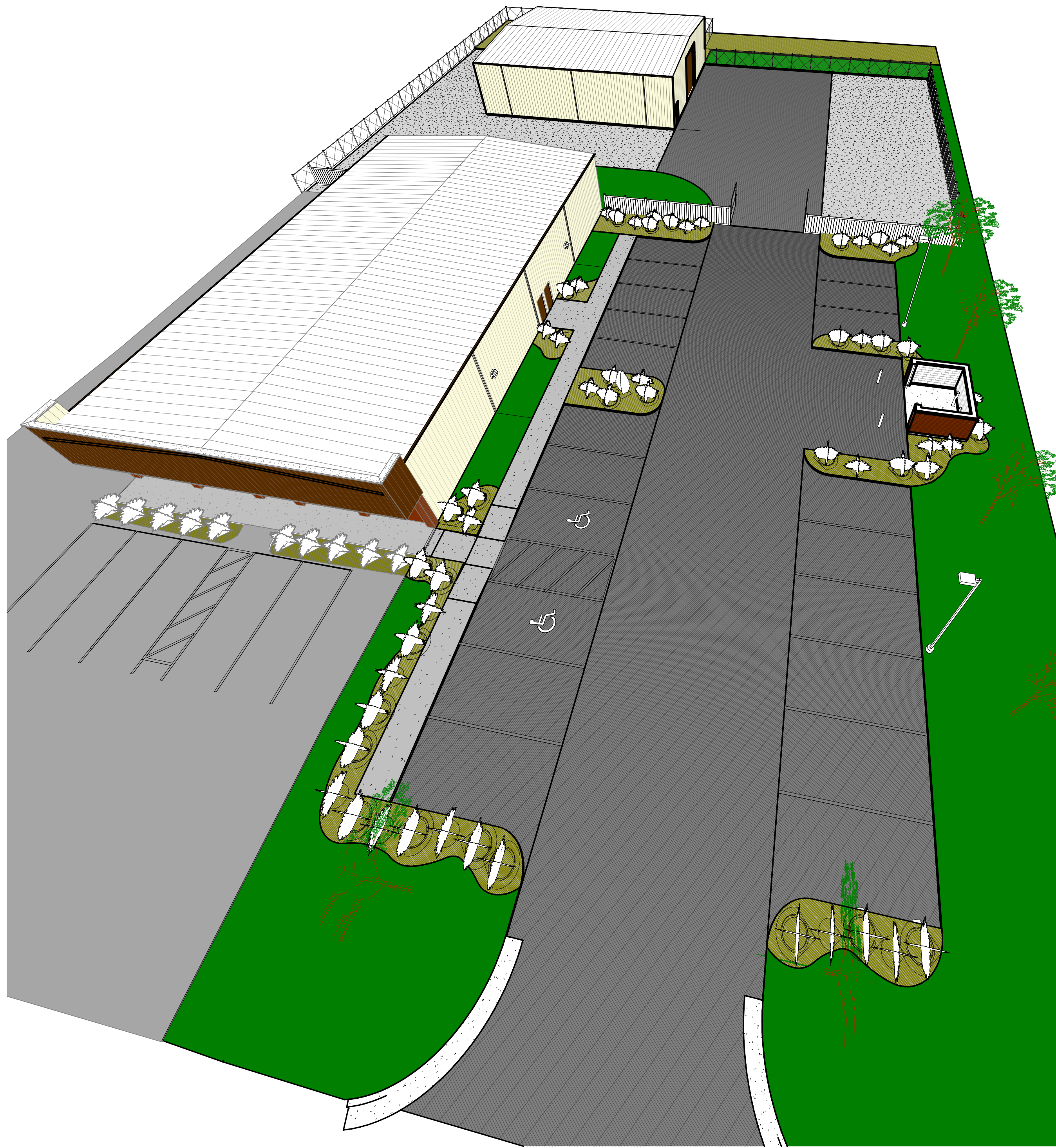
NEW SHOP BUILDING TO MATCH EXIST. SIDING & TRIM COLOR

NO EXTERIOR CHANGES TO THE EXISTING BUILDING

4E Existing Building



3C W-E 3D View
Scale:



1E E-W 3D View
Scale:



COMPOSITE FENCING



METAL SIDING & TRIM
NEW SHOP BUILDING TO MATCH EXIST.



BRICK
MASONRY DUMPSTER ENCLOSURE TO MATCH EXIST. BRICK

1C Products